

DESIGN REVIEW COMMISSION AGENDA

Conference Room #6, City Hall
710 E. Mullan Ave Coeur d'Alene Id, 83814
THURSDAY, JANUARY 25, 2024
12:00 pm

12:00 P.M. CALL TO ORDER:

ROLL CALL: Ingalls, Lemmon, Messina, Pereira, Snodgrass, Priest

MINUTES: ***ITEM BELOW IS CONSIDERED TO BE AN ACTION ITEM

November 9, 2023 – Design Review Commission Meeting

NEW BUSINESS: ***ITEMS BELOW ARE CONSIDERED TO BE ACTION ITEMS

1. Applicant: CDA Hotel, LLC
Location: 602 & 612 E. Sherman Avenue
Request: A request to build a six (6) story Marriott Hotel with a parking structure three (3) stories underground for guest parking

ADJOURNMENT/CONTINUATION:

Motion by _____, seconded by _____,
to continue meeting to _____, at ___ p.m.; motion carried unanimously.
Motion by _____, seconded by _____, to adjourn meeting; motion carried unanimously.

**Please note any final decision made by the Design Review Commission is appealable within 15 days of the decision pursuant to sections [17.09.705](#) through [17.09.715](#) of Title 17, Zoning.*

This Page Intentionally Left Blank



MINUTES



This Page Intentionally Left Blank

**DESIGN REVIEW COMMISSION
MINUTES
NOVEMBER 9, 2023
Conference Room #5, City Hall
12:00 pm**

COMMISSIONERS PRESENT:

Tom Messina - Chairman
Skip Priest
Michael Pereira
Greta Snodgrass

STAFF MEMBERS PRESENT:

Tami Stroud, Associate Planner
Traci Clark, Admin. Assistant

COMMISSIONERS ABSENT:

Jon Ingalls
Jef Lemmon
Joshua Gore

CALL TO ORDER:

The meeting was called to order by Chairman Messina at 12:00 p.m.

MINUTES: *ITEMS BELOW ARE CONSIDERED TO BE ACTION ITEMS**

Motion by Commissioner Pereria, seconded by Commissioner Priest, to approve the minutes of the Design Review Commission meeting on October 27, 2022. Motion Carried.

PUBLIC COMMENTS:

None.

STAFF COMMENTS:

- Tami Stroud Associate Planner, welcomed new Admin. Assis., Traci Clark.

NEW BUSINESS:

1. Applicant: 512 North 1st, LLC
Location: Garden Avenue between N. 1st Street & 2nd Street
Request: Request for a one-year extension of the approved design (DR-3-22)

Ms. Stroud provided the following statements:

A request from 512 North 1st, LLC for a one-year extension of an approved design of a 34-unit condominium building with a structured parking garage and two 5-unit townhome structures.

- On October 27, 2022, the Design Review Commission approved the design of a 34-unit condominium building with a structured parking garage and two 5-unit townhome structures.
- Unless a different termination date is prescribed, the design approval shall terminate one year from the effective date of its granting unless substantial development or actual commencement of authorized activities has occurred. However; such period of time may be extended by the Design Review Commission for one year, without public notice, upon written request filed at any time before the approval has expired and upon a showing of unusual hardship not caused by the owner or applicant.
- On October 25, 2023, staff received a request from 512 North 1st, LLC for a one-year extension of the approved design.

Ms. Stroud concluded her presentation.

Commission Comments:

None.

Motion by Commissioner Priest, seconded by Commissioner Pereira, to approve Item DR-3-22 1-year extension request. Motion carried.

ROLL CALL:

Commissioner Priest	Voted	Aye
Chairman Messina	Voted	Aye
Commissioner Pereira	Voted	Aye
Commissioner Snodgrass	Voted	Aye

Commissioners absent, Ingalls, Lemon and Gore.


Motion to approve carried by a 4-0 vote.

ADJOURNMENT:

Motion by, Pereira, seconded by Snodgrass to adjourn the meeting. Motion approved.


The meeting was adjourned at 12:11 p.m.

Prepared by Traci Clark, Administrative Assistant.




PUBLIC HEARING

This Page Intentionally Left Blank



STAFF REPORT



This Page Intentionally Left Blank

**DESIGN REVIEW COMMISSION
STAFF REPORT**

FROM: TAMI STROUD, ASSOCIATE PLANNER
DATE: JANUARY 25, 2024
SUBJECT: DR-1-24: REQUEST FOR THE FIRST MEETING WITH THE DESIGN REVIEW COMMISSION FOR A PROPOSED SIX-STORY MARRIOTT HOTEL IN THE DC (DOWNTOWN CORE) DISTRICT

LOCATION: A 20,993 SF PARCEL LOCATED AT 602 E. SHERMAN AVENUE
A PARCEL OF LAND BEING DESCRIBED AS CDA & KINGS ADD, LTS 1,2, 3 AND 4, BLK 35 AND MORE COMMONLY DESCRIBED AS 602 AND 612 E. SHERMAN AVENUE

APPLICANT / OWNER:
CDA Hotel LLC
1450 Twin Lakes Avenue, Suite 201
Bozeman, MT 59718

ARCHITECT:
Michael Nilson
The Richardson Design Partnership
510 South 600 East
Salt Lake City, UT 84102

APPLICANT'S REQUEST

Michael Nilson, architect with the Richardson Design Partnership, on behalf of CDA Hotel LLC, is requesting a First Meeting with the Design Review Commission for a 6-story Marriott Hotel. The applicant participated in an Initial Meeting with Planning Staff as required by Municipal Code § 17.09.325(D). The proposed project will have approximately 131 rooms, a fitness center, rooftop bar, outdoor patio, and parking structure for guest parking which continues three stories underground. The subject property is in the Downtown Core (DC) zoning district, and must adhere to the Downtown Coeur d'Alene Design Guidelines.

DECISION POINT:

Should the Design Review Commission approve the design for the 6-story Marriott Hotel located at 602 AND 612 E. SHERMAN AVENUE in the Downtown Core (DC) zoning district either with or without conditions, or direct modifications to the project's design and require a second meeting?

DESIGN REVIEW AUTHORITY:

The Design Review Commission ("DRC") is tasked with reviewing the project to ensure compliance with all applicable design standards and guidelines. This project is located within the Downtown Core (DC) zoning district and located on a block that is designated as a vehicular-oriented street. The DRC will provide feedback to the applicant and staff on how the applicable design standards and guidelines affect and enhance the project. The DRC will provide direction to the applicant, and may suggest changes or recommendations to the proposed project. The DRC may render a decision during the First Meeting, or request an Optional Second Meeting.

All exterior projects south of the midblock of Lakeside/Coeur d'Alene, all street façade alterations, and all exterior expansions trigger review by the Design Review Commission if located in the Downtown Core (DC) zoning district. (Municipal Code § 17.09.320(A))

A development applicant shall participate in the design review process as required by this Article before substantive design decisions are fixed and difficult or expensive to alter. The City will work with the applicant in a collaborative fashion so that the goals of both the City and the applicant can be met to the greatest degree possible, and to address the concerns of neighbors and the community. In order for this process to work effectively, the applicant must be willing to consider options for the project's basic form, orientation, massing, relationships to existing sites and structures, surrounding street and sidewalks, and appearance from a distance. (Municipal Code § 17.09.325)

The applicant has the obligation to prove that the project complies with the adopted design standards and guidelines, which serve as the basis for the design review. The design review commission may not substitute the adopted standards and guidelines with other criteria of its own choosing. Nor may it merely express individual, personal opinions about the project and its merits. Nevertheless, it may apply its collective judgment to determine how well a project comports with the standards and guidelines and may impose conditions to ensure better or more effective compliance. It also must be recognized that there will be site specific conditions that need to be addressed by the commission as it deliberates. The commission is authorized to give direction to an applicant to rectify aspects of the design to bring it more into compliance. The commission is authorized to approve, approve with conditions or deny a design following the Optional Second Meeting with the applicant. (Municipal Code § 17.03.330)

The Design Review Commission may grant or deny the application, or grant the application with such conditions as are, in its judgment, necessary to ensure conformity to the adopted standards and guidelines. The Commission shall make written findings to support its decision, specifically stating how the project conforms to the adopted design standards and guidelines or how it does not. A copy of the Commission's decision shall be mailed to the applicant and the Director shall make the commission's decision available for public inspection. The Commission has the power to table a decision to a later date and request an additional meeting. (Municipal Code § 17.03.335)

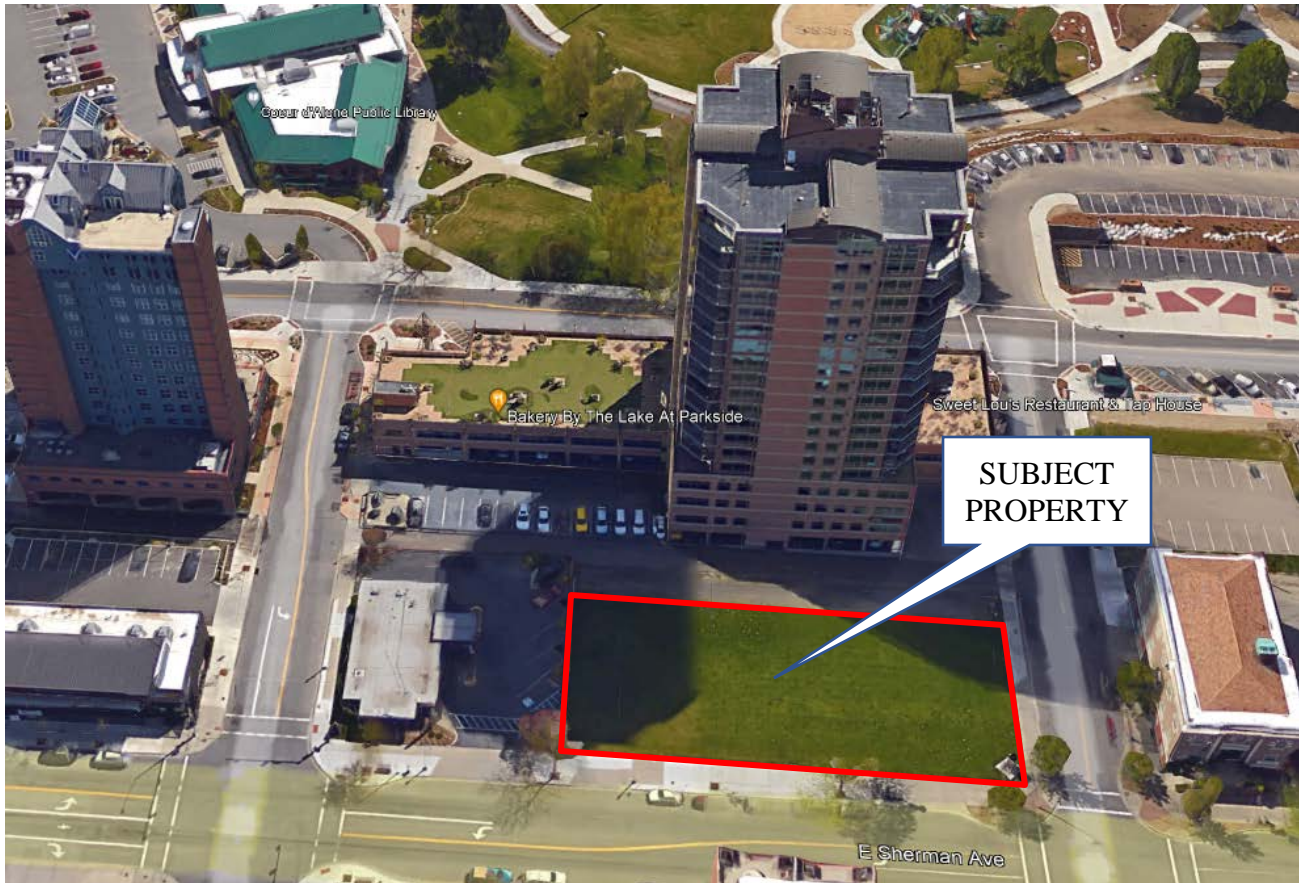
PROPERTY LOCATION MAP:



AERIAL PHOTO:



BIRDSEYE AERIAL PHOTO:



PROJECT OVERVIEW

The site is located on a 20,993 SF parcel along Sherman Avenue between 6th and 7th Streets. The property is currently vacant and is a grassy lot previously used for the “Live After 5” music events several years ago. The parcels are comprised of 2-lots that will be consolidated for building permit purposes. The property abuts Idaho Trust Bank directly to the east. Parkside Condominiums are located to the south, across the alley from the proposed hotel. The applicant is proposing a six-story (6) hotel structure with 131 guestrooms. A ground floor dining area with an outdoor patio, bar and fitness center will be available for hotel guests. A rooftop bar and lounge will be open to hotel guests and the public. Parking for hotel guests will be provided in the underground parking structure, which continues three stories underground with a total of 130 parking spaces, 8 of which are on the ground floor. The rooftop bar and lounge, open to the public, is exempt from parking because it is less than 3,000 S.F. The total height of the building is 77'-0” feet tall which includes the elevator penthouse, and is below the maximum height allowed in the Downtown Core (DC) which is 200’ tall. The proposed project is located in the DC (Downtown Core) zoning district, and must adhere to the (DC) Downtown Core Design Guidelines and Standards.

- **PROPOSED BUILDING AREA:** (excluding floors dedicated to parking, elevators, staircases, mechanical spaces and basement)

SITE AREA: 22,993 S.F. 0.482 ACRES

FLOOR AREA RATIO (FAR): 22,993 SF X 4 (FAR)

FAR ALLOWED: 83,972 S.F.

FAR PROVIDED: 76,007 S.F.

(Building Total Area, includes space applied to parking, mechanical spaces, elevator & stair shafts, common area and street level retail.)

DESIGN REVIEW PROCESS:

A Project Review meeting with staff was held on **August 1, 2023**. During that meeting, staff discussed the proposed project with the property owner and applicant's representative and provided concerns and code requirements that needed to be addressed. The below massing model was submitted as part of the Project Review application submittal. Staff did an analysis of the proposed hotel based on the code requirements noted in the Basic Development Standards and Downtown Design Guidelines. The proposed hotel meets the Basic Development Standards noted in the Downtown Core (DC) zoning district. Staff provided feedback to the applicant's architect addressing each Downtown Core Design Guideline and providing details to the design team on how they can meet the guidelines where deficiencies were noted in the Project Review meeting staff report provided by Planning staff.

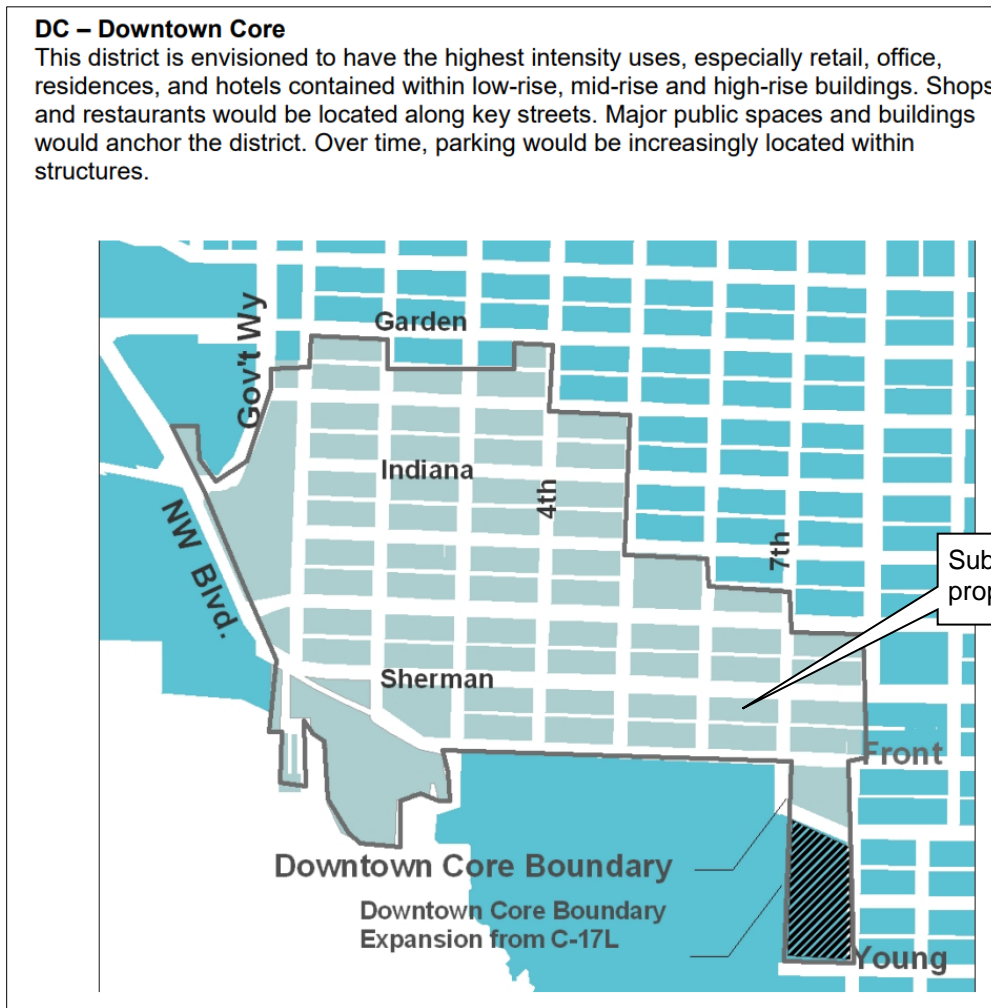
“Marriott AC Hotel” Project Review Meeting held on August 1, 2023 (Massing Model Perspective.)



- The project architect addressed the items noted in the Project Review meeting staff report and provided the required updates for staff for review for code compliance in the Downtown Core (DC) zoning district.

On **October 16, 2023** the applicant provided updated information in order to schedule the required Initial Meeting with staff. The Initial meeting with staff was held on **October 30, 2023**. During the meeting, staff reviewed the DC Downtown Coeur d'Alene Guidelines and Development Regulations and discussed the following items with the applicant team:

- A. Guidelines that apply to the proposed development,
- B. Any FAR Bonuses to be requested, and
- C. Requested Design Departures.



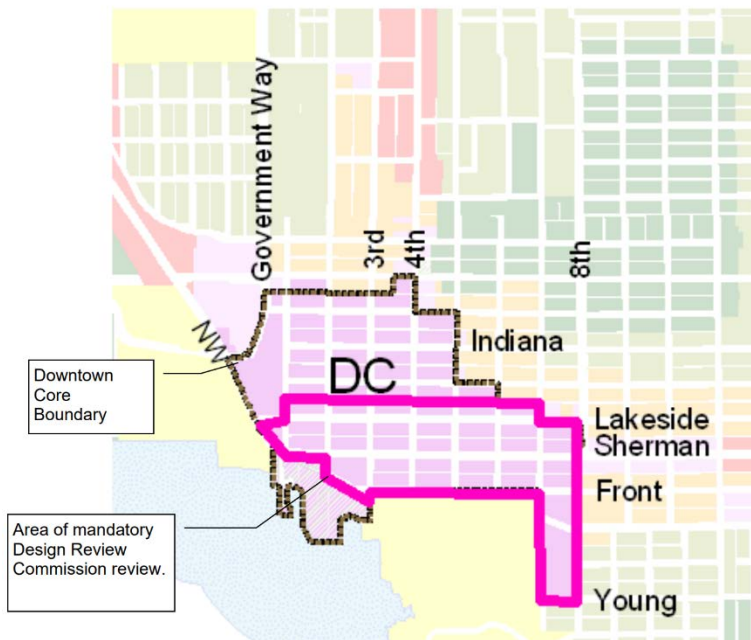


DESIGN GUIDELINES

DOWNTOWN COEUR D'ALENE

DOWNTOWN DESIGN GUIDELINES

District Boundaries



Aerial Photo (showing existing conditions):



SITE PHOTO – 1: View along Sherman Avenue street frontage looking southwest at the subject property.



SITE PHOTO – 2: View from Sherman Avenue along the street frontage looking south at a portion of the subject property and the abutting property to the west (Idaho Independent Bank).



SITE PHOTO – 3: View along the Sherman Avenue street frontage, west of the subject property, looking south at Parkside Tower and the abutting bank's parking lot with McEuen Terrace and Parkside Condos in the background.



SITE PHOTO – 4: View from the eastern side of a portion of the subject property looking north at the neighboring condo building and office.



SITE PHOTO – 5: View from the south side of Sherman Avenue in front of the subject property looking west along Sherman Avenue.



SITE PHOTO – 6: View along the northwest side of the subject property looking east toward t McEuen Terrace.



DESIGN REVIEW ANALYSIS

The following pages provide an overview of the required design guidelines and the project components.

Applicable Downtown Core Design Guidelines:

The following design standards and guidelines are applicable to the proposed project, unless otherwise noted. The DRC shall review the proposed design to ensure compliance with these criteria.

- Location of Parking
- ~~Screening of Parking Lots (N/A)~~
- ~~Parking Lot Landscaping (N/A)~~
- Sidewalk Uses
- Width And Spacing of Curb Cuts
- Screening of Trash/Service Areas
- Lighting Intensity
- ~~Gateways (N/A)~~
- Maximum Setback
- Orientation to the Street
- Entrances
- Massing
- Ground Level Details
- Ground Floor Windows
- Weather Protection
- Treatment of Blank Walls
- Screening of Parking Structures
- Roof Edge
- Screening Of Rooftop Mechanical Equipment
- Unique Historic Features
- Integration of Signs with Architecture
- Creativity/Individuality Of Signs

The applicant has provided a detailed analysis of how they believe the project complies with all required design guidelines on pages 31-35. The Applicant's Narrative is also attached.

Design Departures:

The applicant has requested a design departure for the Weather Protection Design Guideline as it relates to the maximum canopy height. The proposed canopy meets the minimum depth to provide weather protection per the DC design guidelines. The DC design guidelines require a minimum depth of a canopy or awning to be 5'. The 5' deep canopies associated with the building meet the minimum requirement to provide pedestrians from weather. The exception is at the main entry, which has a shorter canopy at 3.5 feet in depth. However, a recessed entry provides additional protection. The applicant has requested a design departure for Weather Protection related to the vertical dimension between the underside of the canopy or awning and the sidewalk. Per the DC design guidelines, the vertical dimension between the underside of the canopy or awning and the sidewalk shall be at least 8' and no more than 12'. The proposed design has a canopy height starting at 9'11" above the sidewalk and has a clearance for pedestrian and vehicular safety signage suspended from the canopy above the parking garage entrance at a height of 9'11". As the sidewalk slopes down at an average of 2.8% to the west, the canopy's vertical height increases to 14'11" at the northwest corner of the project, which is 2'11" above the maximum allowable height. Along 6th Street at the lowest grade, the canopy would have a vertical dimension of 17'10". The requested design departure is to exceed a portion of the canopy to extend above the 12' maximum design guideline. The architect outlines the justification as the departure of the canopy height would still meet the weather protection requirement for pedestrians, the canopy would maintain a consistent horizontal aesthetic that would allow for the storefront windows to remain a consistent size and allow for maximum interior daylight. Stepping down of the canopy to meet the guideline would adversely affect the aesthetic quality of the architecture. Maintaining a consistent horizontal plane with the canopy also defines the base of the building, which is an important aspect of the design guidelines. The canopy will have a metal frame finish, with a wood plank soffit. These canopies will also have recessed downlights to provide lighting under the opaque covering. The applicant maintains the design of the proposed canopy with the increased vertical dimension and overall aesthetic is a significant improvement over what could have otherwise been built under minimum standards and guidelines. The design departure request includes an exhibit showing how the canopy would look if it were to meet the guideline. (WEATHER PROTECTION) – DESIGN DEPARTURE REQUESTED

DESIGN DEPARTURE CRITERIA:

An applicant may request a design departure from any of the design guidelines adopted pursuant to this section. The planning director will review all requests for design departures on projects not subject to design review commission review under section [17.09.315](#) of this title. In order for the planning director to approve a design departure, he or she must find that:

1. The requested departure does/does not meet the intent statements relating to applicable development standards and design guidelines.

2. The departure will/will not have a detrimental effect on nearby properties or the city as a whole.
3. The project's building(s) exhibits a high degree of craftsmanship, building detail, architectural design, or quality of materials that are not typically found in standard construction. In order to meet this standard, an applicant must demonstrate to the planning director that the project's design offers a significant improvement over what otherwise could have been built under minimum standards and guidelines.
4. The proposed departure is/is not part of an overall, thoughtful and comprehensive approach to the design of the project as a whole.
5. The project must be consistent with the comprehensive plan and any applicable plan. (Ord. 3328 §8, 2008; Ord. 3192 §10, 2004)

These same review criteria are used by the Design Review Commission in considering a design departure request.

Applicant's Design Departure Request:

January 22, 2024
Tami Stroud
Associate Planner
City of Coeur d'Alene

Tami,
On behalf of the developers of the AC Hotel Marriott at 602 & 612 E Sherman Avenue, I would like to apply for a design departure from the Downtown Coeur d'Alene Design Guidelines in regard to the Weather Protection section.

The Weather Protection guidelines states:

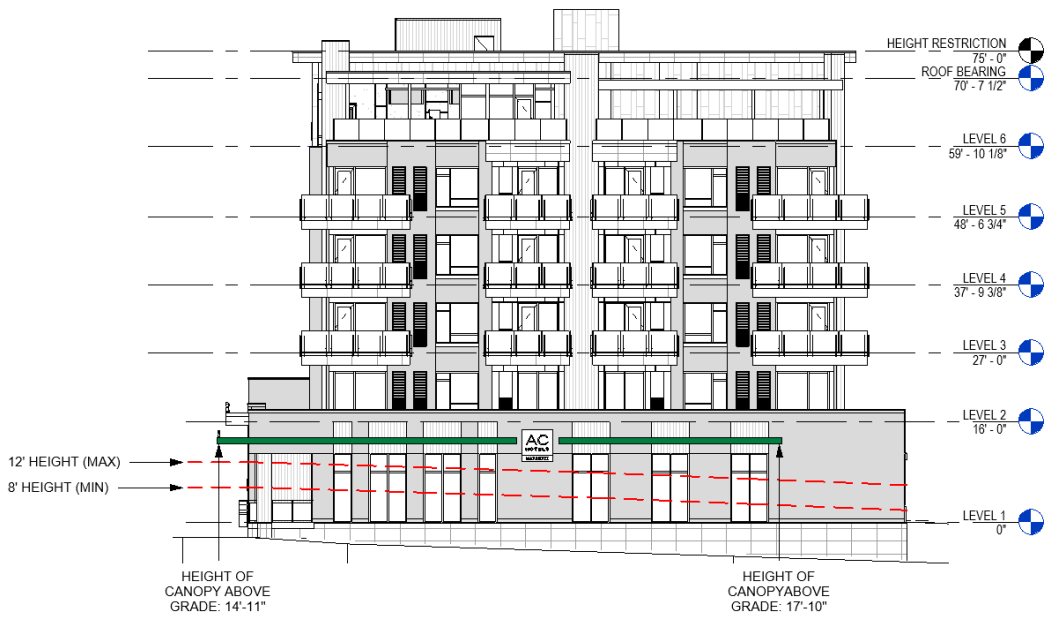
"The Vertical dimension between the underside of a canopy or awning and the sidewalk shall be at least 8 feet and no more than 12 feet."

Starting near the northeast corner of our project, along Sherman Avenue, the canopy height starts at 9 feet 11 inches above the sidewalk, well within the design guideline range. To maintain clearance for any pedestrian and vehicular safety signage that will need to be suspended from the canopy above the parking garage entrance, the height of 9 feet 11 inches established. As the canopy extends west along Sherman Avenue, the sidewalk slopes down at an average of 2.8%. Due to this slope, the height of the canopy increases to 14 feet 11 inches at the northwest corner of the project, which is 2 feet 11 inches above the maximum allowable height in the guideline. I therefore request a design departure to allow a portion of the canopy to extend above the 12 foot maximum as described in the design guidelines based on the following opinions:

1. The canopy as designed meets the intent of the design guideline by providing pedestrians with cover from rainfall and snow.
2. The canopy as designed remains horizontal along the facade and does not change height (except at the hotel's main entrance), aesthetically it does not have a detrimental effect on nearby properties or the city as a whole.

3. The canopy as design covers 94% of the façade along Sherman Avenue and 81% of the façade along 6th Street. The Design Guidelines do not dictate how much of the façade needs to be covered with Canopy. With over 85% of the Sherman and 6th Street facades covered with canopy, this project offers a significant improvement over what otherwise could have been built under minimum standards and guidelines.
4. The Canopy as designed fits aesthetically with the whole of the building. The strong horizontal plane of the canopy helps define the base of the building which is an important aspect of the design guidelines.
5. If the canopy were to step down with the grade along Sherman Avenue and 6th Street to maintain the maximum and minimum height requirement of the guidelines, the canopy would eventually intersect the exterior windows of the project on the main level and would adversely affect the interior daylight experience from individuals inside the project. From the exterior, the stepping down of the canopy along the slope of the sidewalk would adversely affect the aesthetic quality of the architecture.
6. This project is consistent with the comprehensive plan in the following ways:
 - a. It satisfies the comprehensive plan's desire for hospitality uses to help bolster Coeur d'Alene as a tourist destination and maintain the community's friendly, welcoming atmosphere and its smalltown feel.
 - b. Coeur d'Alene recognizes and celebrates its historical and cultural roots, relationship with the Coeur d'Alene Tribe, both past and present, and its connections with the natural environment. Coeur d'Alene's identity as the cultural center of North Idaho creates opportunities for social connections through a wide variety of events, activities, and public places for community members to gather year-round. This project will facilitate such gatherings as a hospitality destination.
 - c. This project will help Maintain a high quality of life for residents and businesses that make Coeur d'Alene a great place to live and visit.
 - d. It provides for nightlife activities in the form of an upscale bar and outdoor patio located on the top floor of the hotel that commands impressive view of the city and the lake, not only for the hotel guests, but for the residents of Coeur d'Alene
 - e. Its structured parking provides parking capacity for this project while keeping the walkable feel of the streets.

Below is an exhibit showing the Sherman Ave and 6th Street façades. The green areas represent the canopy and the red dashed lines represent the maximum and minimum heights as described in the guidelines as they follow the slope of the sidewalk.



I appreciate your consideration of this design departure and look forward to your questions or comments.

Sincerely,

Michael Nilson
Project Architect

DOWNTOWN DESIGN GUIDELINES

DEFINITIONS

For the purposes of the Downtown Design Guidelines, the following definitions apply:

Gateways: Gateways are key intersections within and around the edges of downtown that require special treatment. The gateways are:

- Intersection of Sherman Ave. and Second St.
- Intersection of Sherman Ave. and Fourth St.
- Intersection of Front Ave. and Fourth St.
- Intersection of Sherman Ave. and Seventh St.

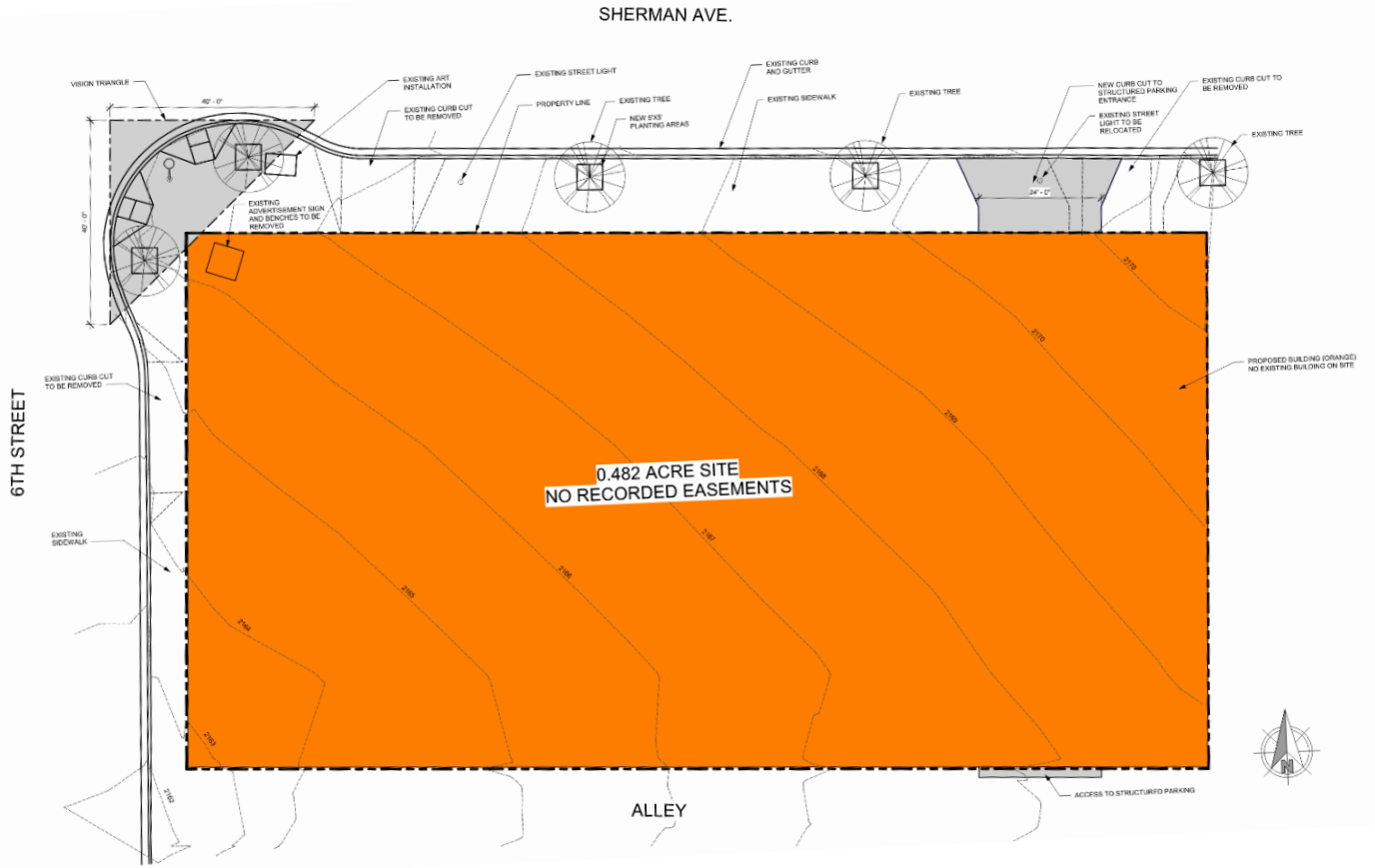
Pedestrian-Oriented Streets: Streets that are intended to have a lively, pedestrian friendly environment in the downtown. The pedestrian-oriented streets are:

- Sherman Ave. from Second St. to Sixth St.
- Second Ave. from Lakeside Ave. to Sherman Ave.
- Third St. from Lakeside Ave. to Front Ave.
- Fourth St. from Lakeside Ave. to Front Ave.
- Fifth St. from Lakeside Ave. to Front Ave.
- Sixth St. from Lakeside Ave. to Front Ave.

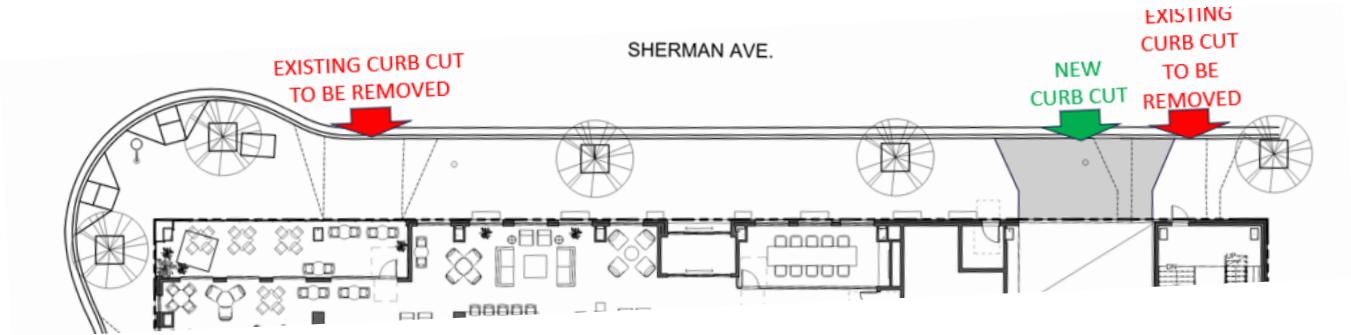
Vehicular-Oriented Streets: Streets that are intended to present a lively and inviting environment as vehicles drive through the downtown. The vehicular-oriented streets are:

- Northwest Blvd. from Government Way to First St.
- Lakeside Ave. from Government Way to Seventh St.
- Sherman Ave. from First St. to Second St.
- Sherman Ave. from Sixth St. to Eighth St.
- Front Ave. from Second St. to Seventh St.

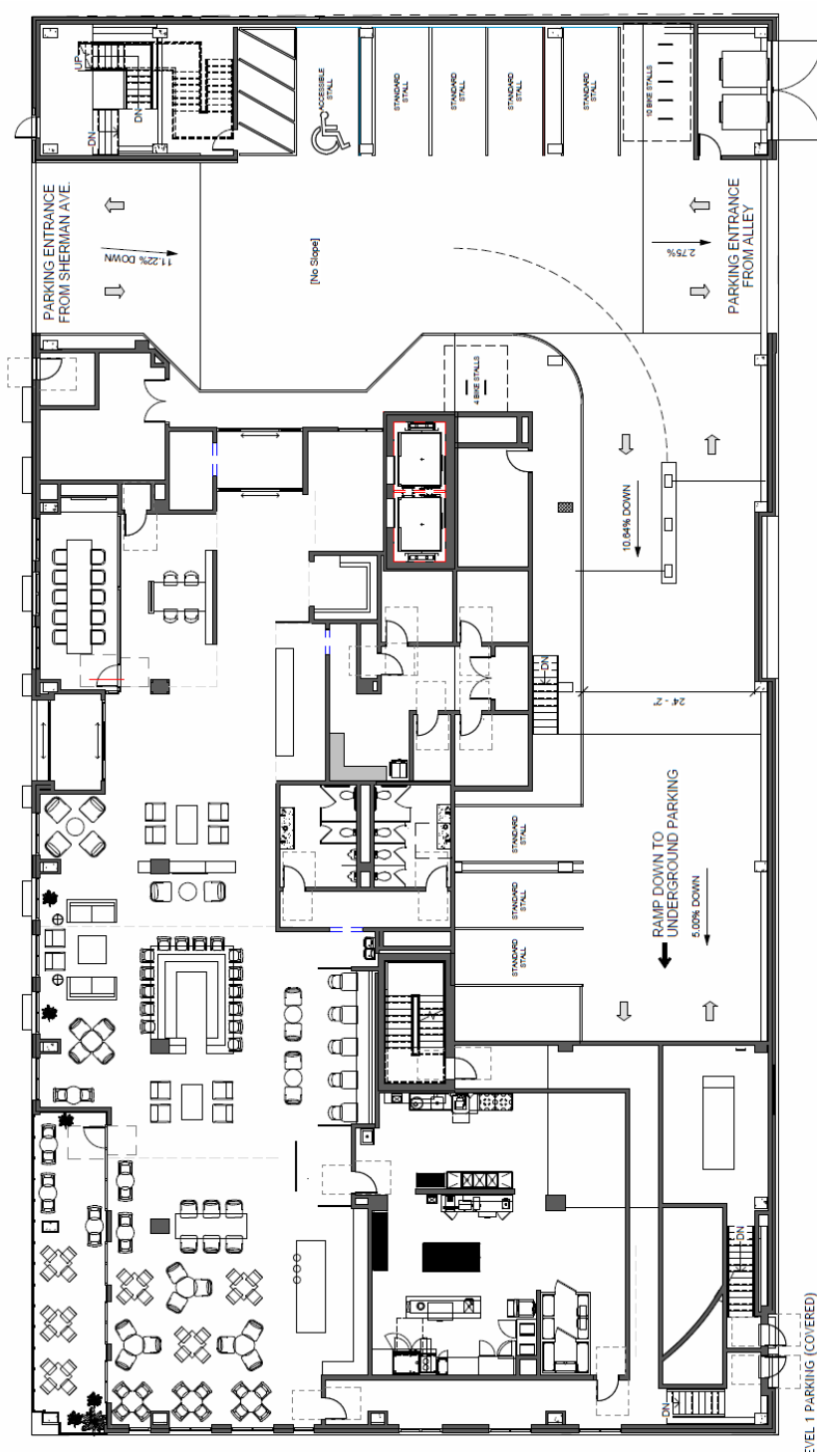
SITE PLAN:



PROPOSED ACCESS FROM SHERMAN AVENUE:



LEVEL 1: WITH COVERED PARKING

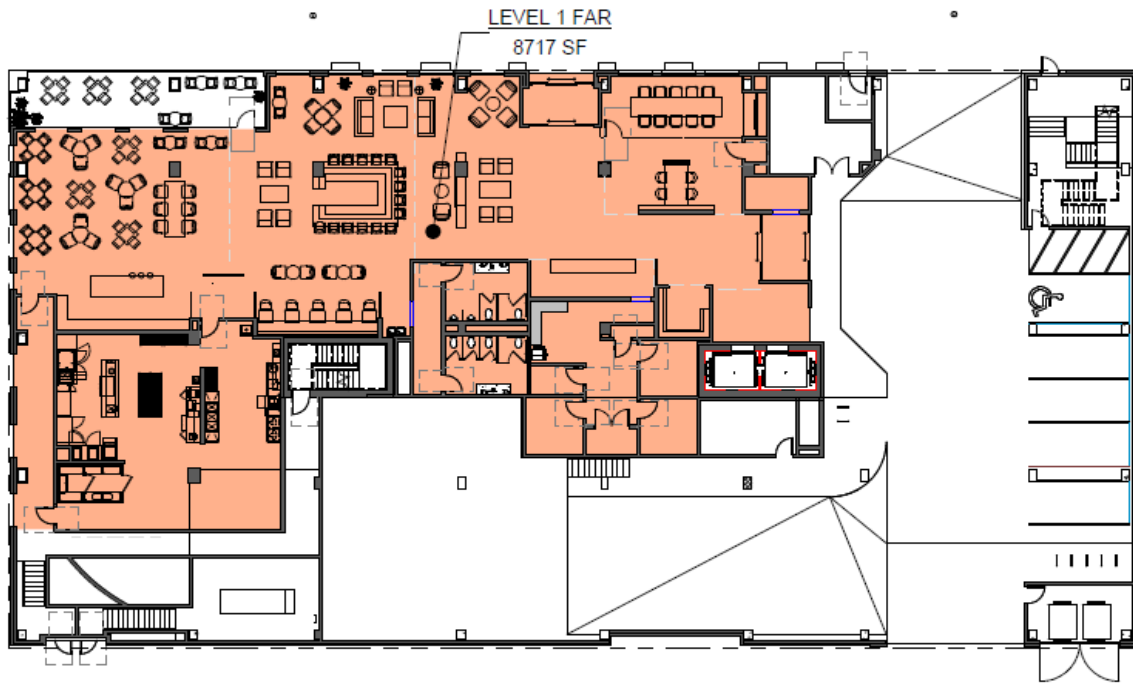


BELOW GRADE PARKING - TYPICAL



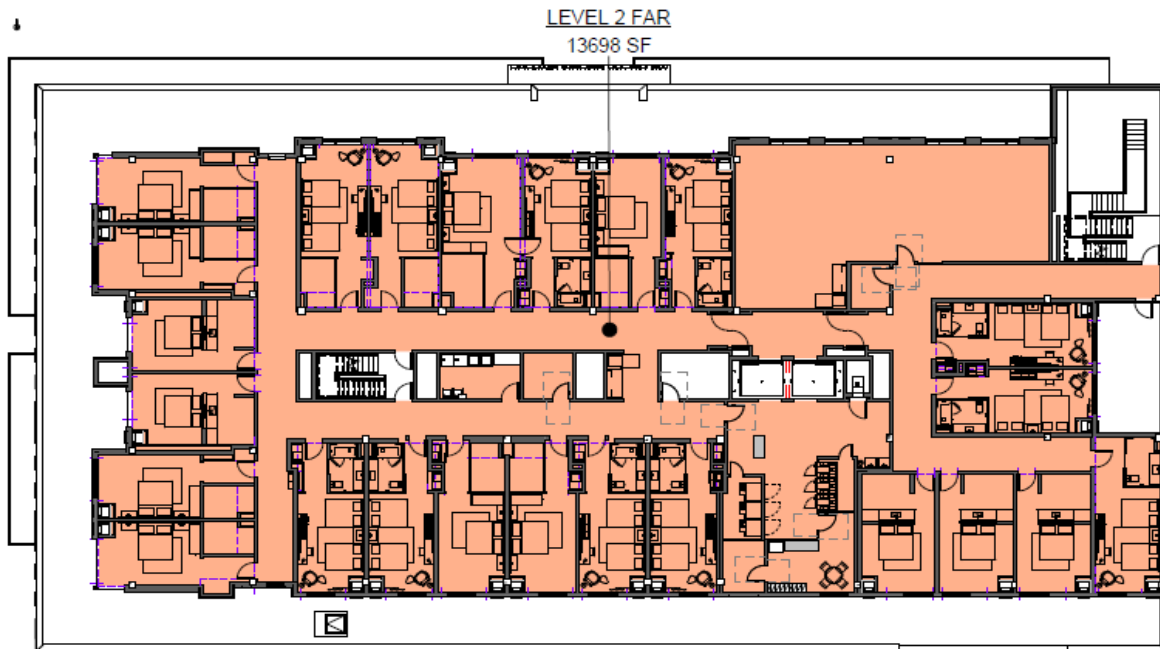
BELOW GRADE PARKING - TYPICAL LAYOUT

FLOOR PLANS: L1



1 Level 1 (FAR)
DR1 1" = 20'-0"

FLOOR PLANS:L2



Level 2 (FAR)
4" = 20'-0"

FLOOR PLANS:L3

LEVEL 3 FAR

13362 SF

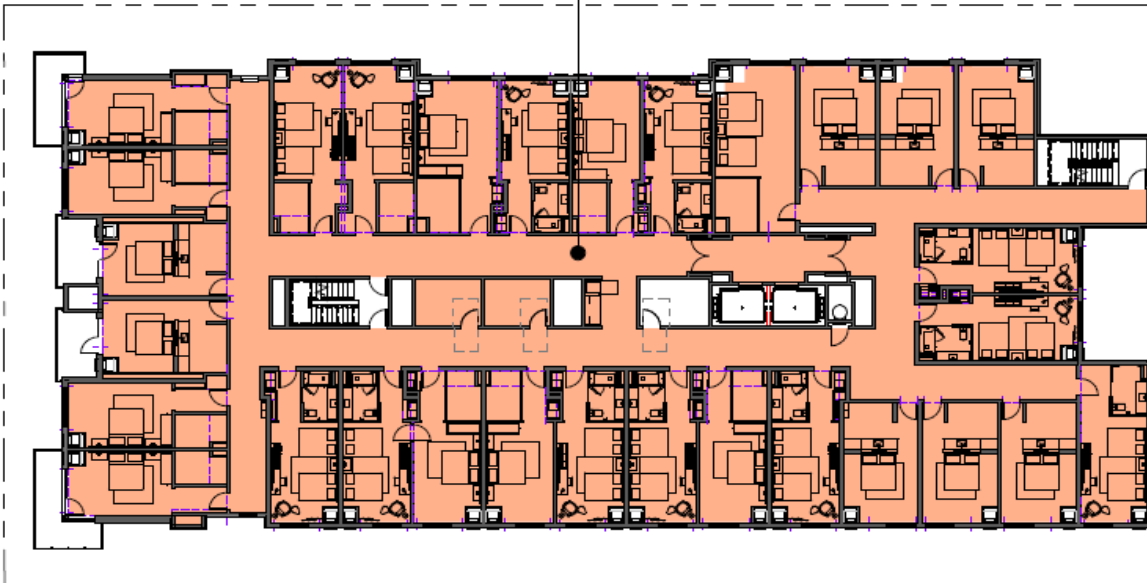


3 Level 3 (FAR)
DR1 1" = 20'-0"

FLOOR PLANS:L4

LEVEL 4 FAR

13360 SF



Level 4 (FAR)

FLOOR PLANS:L5

LEVEL 5 FAR

13360 SF

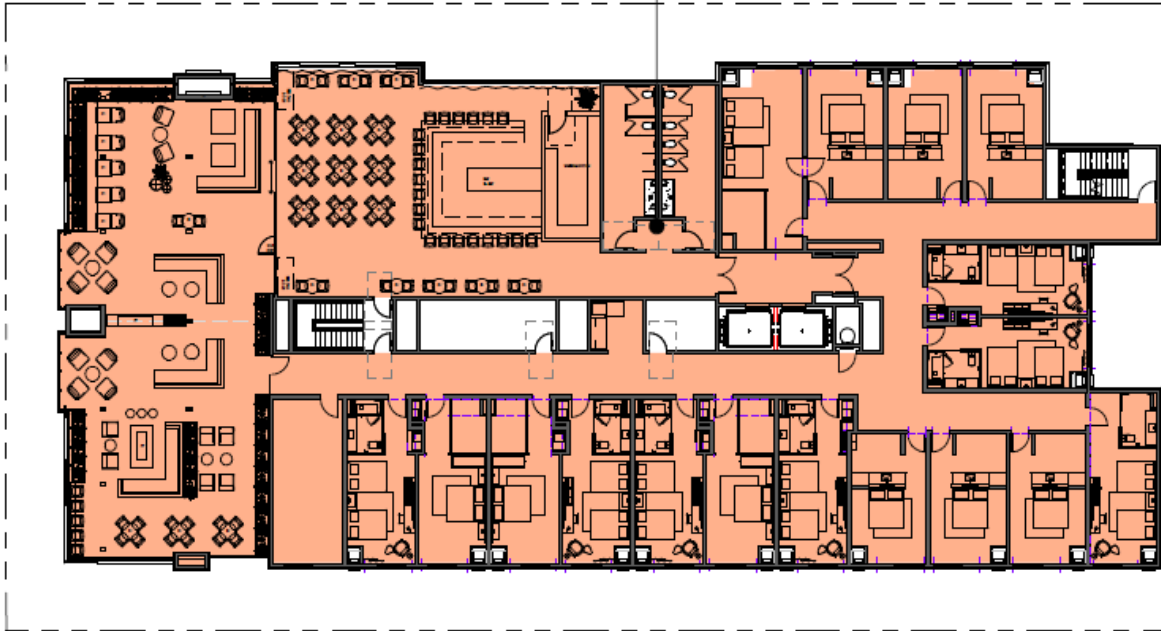


Level 5 (FAR)

FLOOR PLANS:L6

LEVEL 6 FAR

13511 SF

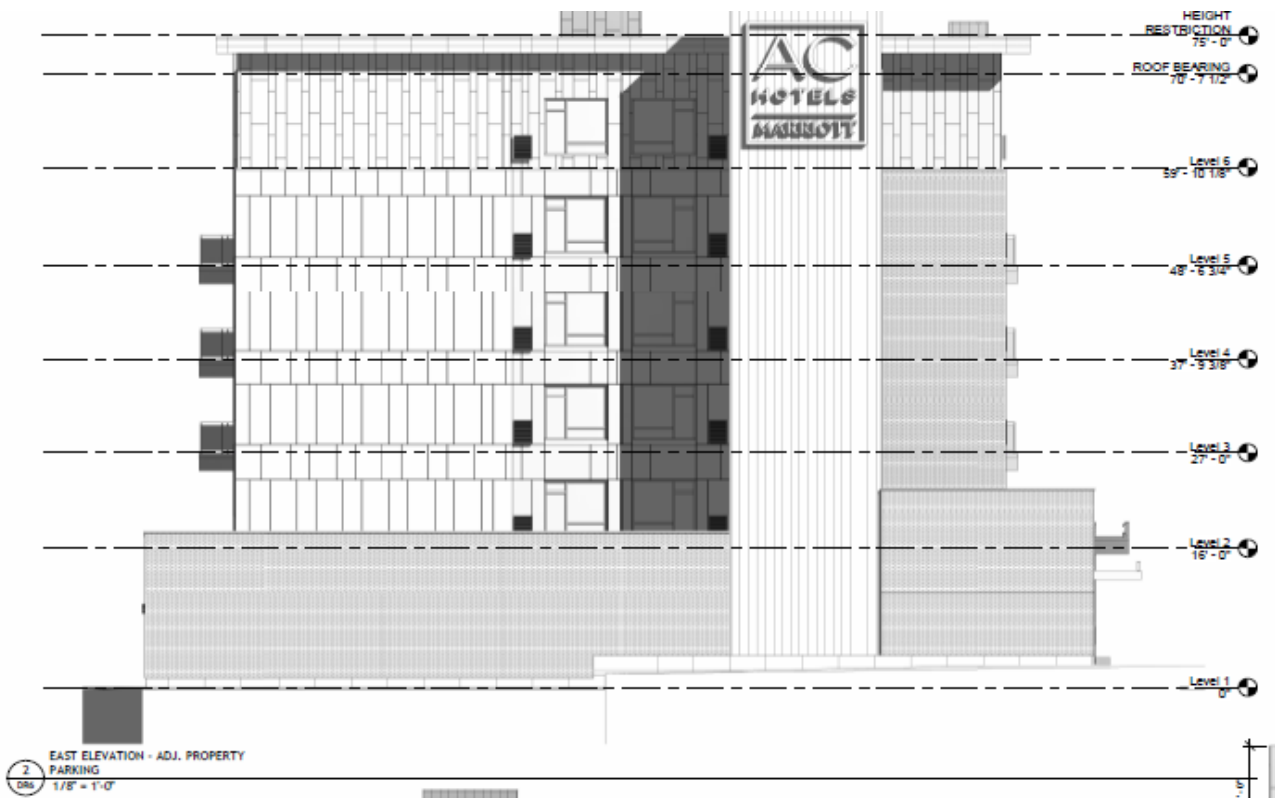


6 Level 6 (FAR)

STREET ELEVATIONS: NORTH ELEVATION- SHERMAN AVENUE



STREET ELEVATION: EAST ELEVATION – ADJACENT PROPERTY



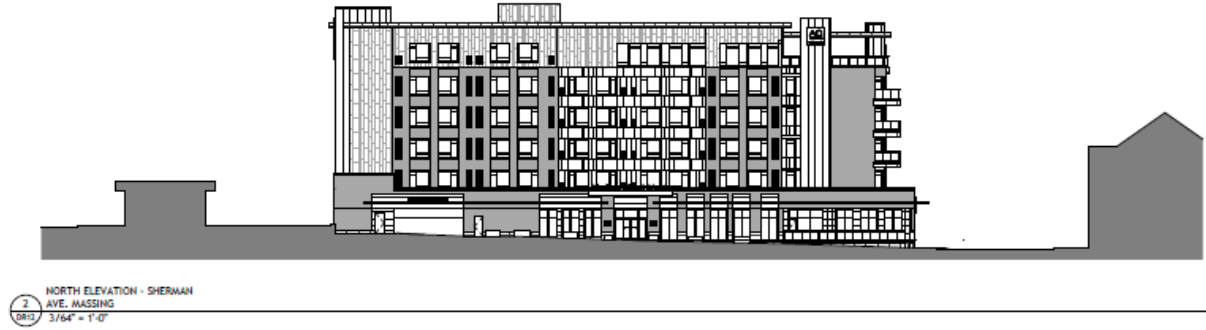
STREET ELEVATIONS: SOUTH ELEVATION- ALLEY SIDE



STREET ELEVATIONS: WEST ELEVATION – 6TH STREET



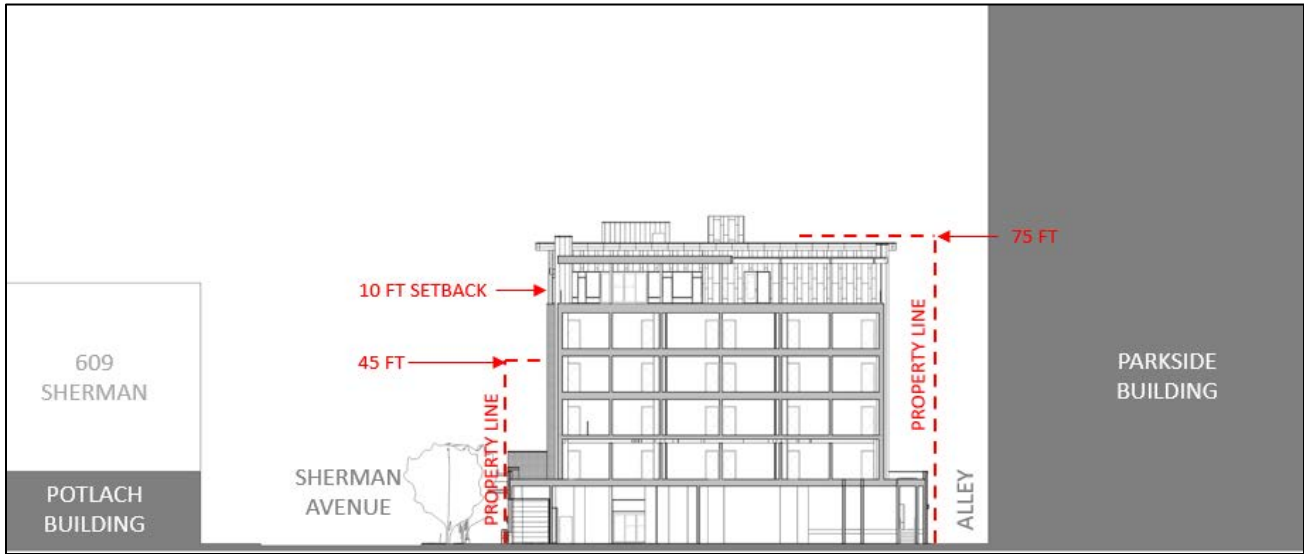
MASSING, ORIENTATION, CONTEXT: NORTH ELEVATION SHERMAN



MASSING, ORIENTATION, CONTEXT: WEST ELEVATION 6TH STREET



SHERMAN AVENUE MASSING SECTION:



6TH STREET MASSING SECTION:



RENDERINGS: LOOKING SOUTH FROM SHERMAN AVENUE:



VIEW LOOKING SOUTH AT THE VEHICLE ENTRY/EXIT INTO THE STRUCTURE ALONG SHERMAN AVENUE:



STREETS AND ENGINEERING COMMENTS:

Chris Bosley, City Engineer provided comments during the project review meeting held on August 1st, 2023. An updated site plan was submitted and additional comments have been provided below based on the updated site plan and renderings submitted for the proposed hotel. The City Engineer will coordinate with the development team to discuss the proposed conditions on the following page:

(Staff comments continue on the following page.)

- The applicant shall complete a traffic study including a pedestrian safety study that illustrates how conflicts with pedestrians will be managed.
- Pedestrian safety features recommended by the study and approved by the City shall be installed during construction.
- Sidewalks along Sherman Ave and 6th Street must be brought into ADA compliance, including replacement of cracked and broken slabs.
- Any existing driveway approaches not being used with the proposed development shall be removed. The below conditions will need to be met prior to permit sign-off.

VIEW LOOKING WEST ON 6TH STREET:



VIEW LOOKING WEST ALONG THE GROUND LEVEL AT SHERMAN AND 6TH STREET:



NORTHEAST CORNER:



SOUTHWEST CORNER:



APPLICANT'S DESIGN GUIDELINES WORKSHEET: Downtown Core (DC)

The applicant has provided a response and additional details on how the project has met the required Downtown Coeur d'Alene Guidelines and Development Regulations as noted in the applicant's Design Guideline worksheet below.

Response from applicant:

22. Location of Parking

Parking for the project is located within the building footprint itself. Parking takes a portion of the main (Street) level and continues three stories underground. This project does not contain any exposed surface parking lots.

Required Parking Ratio (Residential & Hotels)

- Min 0.5 stalls per unit
- Max. 2 stalls per unit

Provided Parking Stalls:

- 131 Units
- 130 Stalls
- Ratio = 0.99 stall per Unit

2. Screening of Parking Lots

Parking for the project is located within the building footprint itself (shown in red). The only exposed portions of the parking lot are the vehicular entrances off Sherman Avenue and the alley to the south of the property.

3. Parking Lot Landscaping

Parking for the project is located within the building footprint itself (shown in red above) and therefore parking lot landscape is not required.

4. Sidewalk Uses

4.1 Amenity Zones: Currently there are four trees planted along the property line facing Sherman. The trees are spaced 67', 54', and 68' respectively. Two of the trees have tree grates, the others have exposed soil. There is one tree along the property line facing 6th Street planted with a tree grate. This tree is located at the northwest corner of the property. It will be confirmed that these trees have a DBH of less than 20 inches. These trees will be removed during construction and replaced in the existing locations. This project includes creating new 5'x5' planting areas around the trees.

4.2 Clear Walkway: The existing sidewalk on Sherman Avenue from the back of curb to the property line is 14.8'. The distance from the new 5'x5' tree planting areas to the property line is approximately 8'-6". A 7'-0" wide clear pedestrian travel area will be maintained.

4.3 Storefront Area: An 18" wide area between the property line and the pedestrian travel area will be used for planting containers along Sherman Avenue.

5. Width and Spacing of Curb Cuts

Two curb cuts on Sherman and one curb cut on 6th street currently exist. All three of these existing curb cuts will be removed. The project only requires one 24' wide curb cut on Sherman; no curb cuts are being proposed on the Pedestrian-Oriented 6th Street. The sidewalk pattern and material will carry across the driveway. This project will not be sharing a driveway as it is not feasible.

6. Screening of Trash/Service Areas

The trash area is located within the building footprint, off the alley on the southeast corner of the property. The trash area will be screened from view on all sides. The two sides and rear of the enclosure will match the exterior brick material. At the front of the enclosure will be an opaque decorative architectural gate. Loading and service areas do not face any residential areas. Loading and service areas are located within the parking garage.

7. Lighting Intensity

7.1 Building Lighting: The majority of the exterior building lighting will be recessed lights in the roof canopies at the ground floor level to provide light to pedestrians, at the guestroom balcony roofs to provide light to the guests, and at the upper roof deck to highlight the building corner. Fully-shielded wall sconces will be added on either side of the main entry doors to highlight the entry.

7.2 Street Lighting: There is one existing single-arm tall streetlight at the corner of Sherman and 6th Street that will remain. There are two existing post streetlights along Sherman Avenue. One light will remain in its current location, and the other will be shifted to allow for the new curb cut into the parking structure. There are no existing streetlights along 6th Street.

8. Gateways

The Corner of Sherman and 6th Street is not classified as a "Gateway" intersection in the Downtown Design Guidelines.

An existing public art installation exists on the southeast corner of Sherman and 6th Street.

9. Maximum Setback

The street level façade along the Pedestrian-Oriented 6th Street is set up to the back of the sidewalk along the property line. A portion of the project on the corner of Sherman and 6th Street has a dining patio for the use of hotel guests but it has a base structure that extends out to the sidewalk.

10. Orientation to the Street

The proposed building is oriented to Sherman Avenue. The building façade along Sherman incorporates numerous windows as well as an entrance canopy and signage. The façade along 6th Street incorporates windows. The primary building entrance faces Sherman and is centered in the building façade. An outdoor patio at the ground level activates the street corner at Sherman Avenue and 6th Street.

11. Entrances

The main building entrance is centered on the façade along Sherman Avenue and welcomes pedestrians with an overhanging canopy as well as a recess in the main building wall. Both the canopy and the recess provide added weather protection for pedestrians. These features, along with clear signage, help identify this visually prominent entrance.

12. Massing

12.1 Top: The top section of the building is distinguished by overhanging roofs, an open roof deck with trellis, and additional windows. The main material is a dark metal panel, with accent metal panels.

12.2 Middle: The middle section of the building has a regular pattern of guestroom windows surrounded by dark and light color brick veneer. Also, there are some dark and accent metal panels to connect the base to the top.

12.3 Base: The base of the building features a large amount of storefront glazing and canopies to define the ground level. The finish is a combination of light grey brick, darker composite panels accented with horizontal wood siding with a decorative concrete plinth.

12.4 Building Bulk: The base of the building aligns with the property lines of the lot, but steps back above the ground floor level to allow for the required 10-foot setback over 45 feet above grade. The only parts of the building that extend past these setbacks are roof overhangs and balconies. The only part of the building that is taller than 75 feet is the elevator penthouse, which is much smaller than the 8000 SF Tower Floor Size restriction at 176 SF and is over the minimum Tower Separation of 50 feet noted in the Site Performance Standards. At approximately 77 feet tall, the overall building height is well below the maximum 200 ft building height.

12.5 City Block Elevations: Sherman Avenue has a mix of low-and mid-rise buildings, which align well with the scale of the plinth of the proposed hotel. The overall mass of the building helps transition from these shorter structures to the high-rise residential buildings on Front Avenue.

13. Ground Level Details

The ground floor of the building has the most amount of character to provide visual interest to pedestrians, including:

- Pedestrian-scaled signs to identify the building entry.
- Seasonal planting in multiple planters against the building along Sherman Avenue.
- Metal canopies above the ground floor storefront windows.
- Accent wall sconces on either side of the main entrance.
- A decorative concrete plinth to ground the building.

The ground level also features an elevated patio at the corner of Sherman and 6th Street to add a further level of detail in this area.

14. Ground Floor Windows

The building has been designed with many storefront windows along Sherman Avenue and 6th Street that will have clear vision glass into the Lobby, Bar/Lounge, Conference Room, and Corridor spaces (unblocked by shelving). Sherman Avenue has 45% window and glazed door area in the “window zone” of the façade. 6th Street has 26% window area in the “window zone” of the façade. All ground-floor windows will have a minimum of 60% transparency.

15. Weather Protection

The building is designed with 5-foot-deep canopies around nearly the entire length of the Sherman Avenue and 6th Street façades for weather protection. The exception is at the main entry, which has a shorter canopy at 3.5 feet in depth. However, a recessed entry provides additional protection. This canopy is also 16 feet high, to accentuate the entrance to the building. The main canopies maintain a consistent level height around the building, but due to the sloping grades, the height of the canopy varies. The minimum height above grade is approximately 10 feet. The canopy will have a metal frame finish, with a wood plank soffit. These canopies will also have recessed downlights to provide lighting under the opaque covering.

16. Treatment of Blank Walls

The street-facing walls of the building are mostly broken up by windows and doors, but there are additional architectural features that break up the impact of the walls, including:

1. A concrete plinth that varies in height depending on the grade change (from 1'-2" up to 6'-0").
2. A change in brick materials above the ground floor level, acting as a “belt course” for the building.
3. Recesses in the façade at least 2'-0" in depth.
4. Roof overhangs/canopies at the ground floor level and upper roof level that vary from 3'-0" to 5'-0" in depth.

Additional features at the pedestrian level include contrasting wall material and vegetated planter boxes.

17. Screening of Parking Structures

The Parking Structure is incorporated into the main hotel building, within the building footprint (shown in red), with a portion of the Main Floor (ground level) allocated to parking, as well as three underground levels. There isn't a separate parking structure to be screened. The Main Floor parking is integrated into the "plinth" on the non-street-facing façades.

18. Roof Edge

The building design doesn't include any pitched roofs. The typical roofline of the building includes a 3-foot overhanging cornice to create a prominent edge against the sky. At recessed wall locations, this overhang extends 5.5 feet past the wall face, creating an even more dramatic cornice. Additionally, the building features accent tower elements of varying heights and a roof deck with a large trellis to add increased interest at the roof edge.

19. Screening of Rooftop Mechanical Equipment

The proposed building is designed with extended parapets to screen a majority of the rooftop equipment. The only rooftop mechanical equipment that extends above the main parapet is the Elevator Penthouse, which will be surrounded by a framed wall and finished in the same dark metal panels as part of the main building façade.

20. Unique Historical Features

The existing site is a lawn-covered dog park, so the project doesn't include any renovation or redevelopment. As a new construction project, the proposed building relates to the surrounding context through:

- The use of brick as a predominant exterior finish.
- The massing of the building with a base, middle, and top.
- The scale of the building as a steppingstone between the smaller buildings along Sherman Avenue and the high-rise residential Parkside Building.
- The design of the building as a contemporary structure that relates to the primarily modern surrounding architecture.

21. Integration of Signs with Architecture

The two main building signs are placed on the vertical-wood-siding-finished vertical towers of the building for wayfinding of automobile traffic, in lieu of pylon signs. These signs are 188 SF and 36 SF, respectively. Additionally, channel letter signs are located above the ground floor canopies to designate the main entrance and the parking entrances. These signs are 42 SF for the main entrance and 14 SF (each) for the two parking entrances. Lastly, there are two placard signs on either side of the main entrance doors for pedestrian wayfinding. These two signs are 4 SF each. The total building signage area is 302 SF, which is less than the maximum 603 SF allowed based on the frontage.

22. Creativity/Individuality of Signs

The signage for the building was selected from the Brand's standard signage options. Their designs are highly graphic for brand identity, but also offer a variety of installations and styles including typical wall signs, channel letter wall signs, freestanding channel letter entry signs, as well as smaller pedestrian-oriented placard signs at the entry doors. The freestanding channel letter sign at the entry canopy is supported by brackets and directs pedestrians to the building entry.

We are happy to answer any questions you may have during your review. Thank you in advance for your time and careful consideration.

RENDERING: VIEW FROM THE INTERSECTION OF SHERMAN AND 6TH STREET LOOKING SOUTH



EXTERIOR RENDERING AT DUSK

PERSPECTIVE VIEW- FROM SHERMAN AVENUE AT MAIN ENTRY AND VEHICULAR ACCESS.



PERSPECTIVE VIEW- MAIN ENTRANCE OFF OF SHERMAN AVENUE:



PERSPECTIVE VIEW- PARTIAL NORTH ELEVATION- SHERMAN AVENUE:



RENDERING: SOUTHEAST VIEW

NOTE: THIS IMAGE WAS INCLUDED IN ERROR. THIS IS NOT A RENDERING OF THE PROPOSED PROJECT.



Per the Downtown Design Guidelines:

C. Maximum Building Height

Buildings within this district shall only be permitted to exceed 75 feet if they comply with the bulk, spacing, and setback standards indicated in the sections that follow. Buildings that comply with the standards, as well as accumulate sufficient Floor Area Ratio through bonuses, may extend as high as shown in the chart below.

	Height	Height w/architectural feature ² .
Base	75 ft.	83 ft.
Base + Bonus	200 ft	220 ft.

Notes:

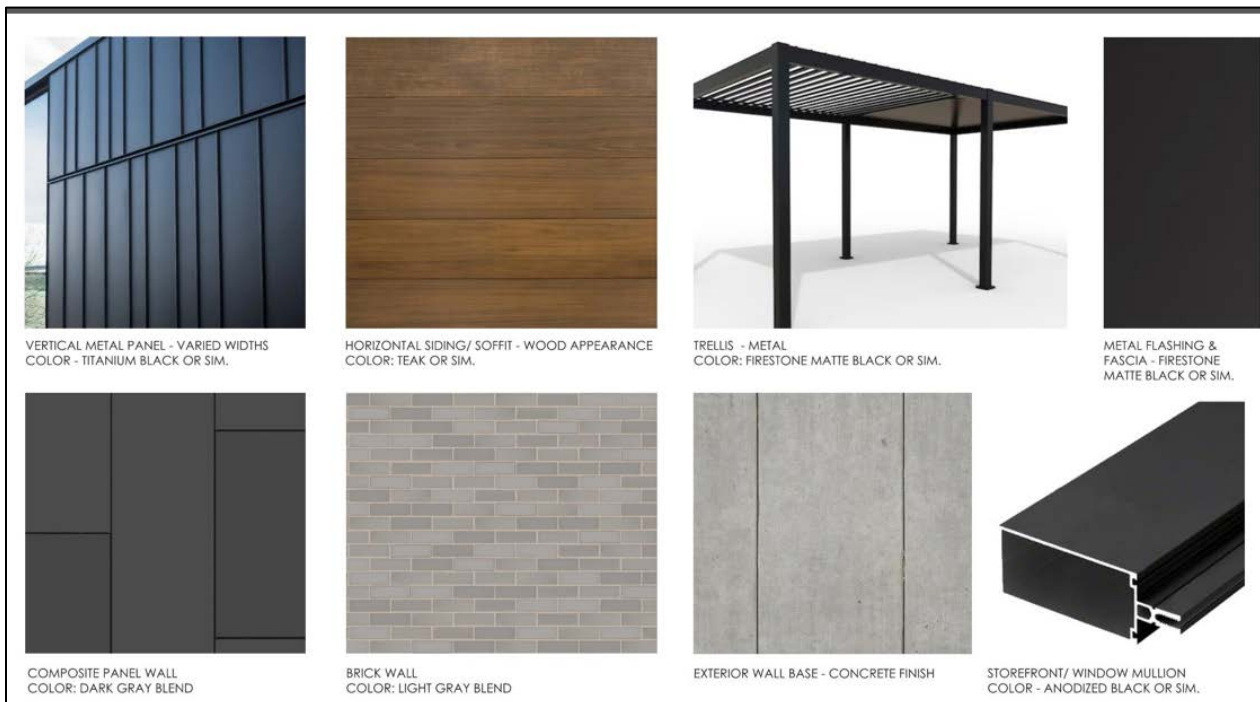
1. Mechanical penthouses, stair/elevator overruns, and antennae may be excluded from Building Height calculation provided they are no more than 15 feet above the roof deck.
2. The Base Building height may be increased by up to 10% if the top is designed as a non-habitable, architectural element. This element may extend above the increased height limit.



EVALUATION:

The maximum height in the DC (Downtown Core) zoning district is 200' without any architectural feature to allow for an increased maximum height of 220'. With an architectural feature, the maximum height increases to 220'. The proposed structure is 75' with an additional 11' for the stair overrun and HVAC screening.

EXTERIOR MATERIAL SAMPLE BOARD:



NORTH ELEVATION (SHERMAN AVENUE) PROPOSED MATERIALS



STAFF EVALUATION OF FACTS

- The subject property is located at 602 and 612 E. Sherman Avenue in the Downtown Core (DC) zoning district, which requires review and approval of the design by the City's Design Review Commission.
- The property is subject to the Downtown Core Design Guidelines and the Downtown Development Standards.
- The applicant has submitted all required materials for design review.
- The applicant has completed a project review meeting on August 1, 2023.
- The applicant has completed an initial meeting with staff on October 21, 2023.
- The applicant is seeking design review from the Design Review Commission at an initial meeting on January 25, 2024.
- 136 public hearing notices were mailed on January 10, 2024.
- The public hearing notice was published in the Coeur d'Alene Press on January 6, 2024.
- The subject property was posted with the public hearing notice on January 11, 2024.
- Sherman Avenue in the project vicinity is designated as a Vehicle-Oriented Street.
- 6th Street in the project vicinity is designated as a Pedestrian-Oriented Street.
- The applicant has requested a design departure for Weather Protection as noted below.

- The subject property is 20,993 square feet and the building square footage would be 20,886 square feet, which is 99.4% site coverage. This equates to less than 1.0 FAR, which is less than is allowed by right with the DC zoning district. No FAR bonuses have been requested. (FAR BONUSES)
- The proposed project would be 6 stories and 75' tall, which is below the maximum allowable height of 200' in the DC zoning district. (BUILDING HEIGHT)
- The DC zoning district requires 0.5 parking stalls per unit. The proposed project would have 131 hotel rooms and provides 130 parking spaces enclosed within the structure, which is 65 more than is required by the Downtown Development Standards (Restaurants less than 3,000 S.F. are exempt from parking requirements.) (PARKING COUNT & LOCATION)
- The four existing street trees will be replaced with street trees per City standards and will include new 5'x5' tree planting areas around the trees. (SIDEWALK USES – AMENITY ZONES)
- The existing sidewalk on Sherman Avenue from the back of curb to the property line is 14.8'. The distance from the new 5'x5' tree planting areas to the property line is approximately 8'-6". A 7'-0" wide clear pedestrian travel area will be maintained. (SIDEWALK USES – CLEAR WALKWAY)
- An 18" wide area between the property line and the pedestrian travel area will be used for planting containers along Sherman Avenue. (SIDEWALK USES – STOREFRONT AREA)
- Three (3) existing curb cuts will be removed – one along 6th Street and two along Sherman Avenue. Only one new 24" wide curb cut will be required on Sherman Avenue for the project. No curb cuts will be on 6th Street, which is a pedestrian-oriented street. For the new curb cut required for the driveway into the parking structure, the sidewalk pattern and material will carry across the driveway. (WIDTH AND SPACING OF CURB CUTS)
- The trash area will be located behind the building off of the alley on the southeast corner of the property and will be screened from view on all sides. The enclosure will be constructed with brick to match the building and will have an opaque decorative architectural gate. (SCREENING OF TRASH)
- Loading and service areas will be located within the parking structure. (SCREENING OF SERVICE AREAS)
- Exterior lighting on the building will be recessed in the roof canopies at the ground floor level to provide pedestrian lighting. Guestroom balcony roofs will have lighting and the upper roof deck will have lighting to highlight the building corner. Fully shielded wall scones will be provided on either side of the main entry doors. (LIGHTING INTENSITY – BUILDING LIGHTING)
- There is one existing single-arm tall streetlight at the corner of Sherman and 6th Street that will remain. There are two existing post streetlights along Sherman Avenue. One light will remain in its current location, and the other will be shifted to allow for the new curb cut into the parking structure. There are no existing streetlights along 6th Street. (LIGHTING INTENSITY – STREET LIGHTING)

- The DC zoning district has a 0' front and side yard setback, unless providing usable public space, forecourts or vegetative screening of parking structures. Buildings may be set back from the sidewalk a maximum of 20' for public space or entries, or a maximum of 10' for vegetative screening. Setting façades close to the street may be accomplished through base structures that extend out to the sidewalk, not necessarily the full height of the building. The building meets this requirement. The street level façade along the Pedestrian-Oriented 6th Street is set up to the back of the sidewalk along the property line. A portion of the project on the corner of Sherman and 6th Street has a dining patio for the use of hotel guests but it has a base structure that extends out to the sidewalk. (MAXIMUM SETBACK)
- The proposed building is oriented to Sherman Avenue. The building façade along Sherman incorporates numerous windows as well as an entrance canopy and signage. The façade along 6th Street incorporates windows. The primary building entrance faces Sherman and is centered in the building façade. An outdoor patio at the ground level activates the street corner at Sherman Avenue and 6th Street. (ORIENTATION TO THE STREET)
- The DC design guidelines require the principal entry to have two elements. The main building entrance is centered on the façade along Sherman Avenue and welcomes pedestrians with an overhanging canopy as well as a recess in the main building wall. Those are both allowed design elements. Some form of weather protection shall also be provided. Both the canopy and the recess provide added weather protection for pedestrians. These features, along with clear signage, help identify this visually prominent entrance. (ENTRANCES)
- The proposed structure incorporates a top, middle and base, as required by the DC zoning district (MASSING)
 - The top section of the building is distinguished by overhanging roofs, an open roof deck with trellis, and additional windows. The main material is a dark metal panel, with accent metal panels. (TOP)
 - The middle section of the building has a regular pattern of guestroom windows surrounded by dark and light color brick veneer. Also, there are some dark and accent metal panels to connect the base to the top. (MIDDLE)
 - The base of the building features a large amount of storefront glazing and canopies to define the ground level. The finish is a combination of light grey brick, darker composite panels accented with horizontal wood siding with a decorative concrete plinth. (BASE)
 - The base of the building aligns with the property lines of the lot, but steps back above the ground floor level to allow for the required 10-foot setback over 45 feet above grade. The only parts of the building that extend past these setbacks are roof overhangs and balconies. The only part of the building that is taller than 75 feet is the elevator penthouse, which is much smaller than the 8000 SF Tower Floor Size restriction at 176 SF and is over the minimum Tower Separation of 50 feet noted in the Site Performance Standards. At approximately 77 feet tall, the overall building height is well below the maximum 200 ft building height. (BUILDING BULK)
 - Sherman Avenue has a mix of low-and mid-rise buildings, which align well with the scale of the plinth of the proposed hotel. The overall mass of the building helps transition from these shorter structures to the high-rise residential buildings on Front Avenue. (CITY BLOCK ELEVATIONS)

The ground floor of the building has the most amount of character to provide visual interest to pedestrians, including: Pedestrian-scaled signs to identify the building entry; seasonal planting in multiple planters against the building along Sherman Avenue; metal canopies above the ground floor storefront windows; accent wall sconces on either side of the main entrance; and a decorative concrete plinth to ground the building. The ground level also features an elevated patio at the corner of Sherman and 6th Street to add a further level of detail in this area. (GROUND LEVEL DETAILS)

- The proposed structure would meet the minimum glazing requirement for Ground Floor Windows by providing 40% window and glazed door area in the “window zone” of the façade along Sherman Avenue and 26% “window area” in the window zone along the 6th Street façade (GROUND FLOOR WINDOWS)
- The DC design guidelines require a visual connection between activities inside and outside the building. Ground level façades oriented to pedestrian-oriented streets require a minimum of 60% transparency and vehicular-oriented streets require a minimum of 40% transparency. The proposed structure would meet the transparency requirement for ground floor windows with a minimum of 60% transparency. (GROUND FLOOR WINDOWS)
- The proposed canopy meets the minimum depth to provide weather protection per the DC design guidelines. The DC design guidelines require a minimum depth of a canopy or awning to be 5'. The 5' deep canopies associated with the building meet the minimum requirement to provide pedestrians from weather. The exception is at the main entry, which has a shorter canopy at 3.5 feet in depth. However, a recessed entry provides additional protection. The applicant has requested a design departure for Weather Protection related to the vertical dimension between the underside of the canopy or awning and the sidewalk. Per the DC design guidelines, the vertical dimension between the underside of the canopy or awning and the sidewalk shall be at least 8' and no more than 12'. The proposed design has a canopy height starting at 9'11" above the sidewalk and has a clearance for pedestrian and vehicular safety signage suspended from the canopy above the parking garage entrance at a height of 9'11". As the sidewalk slopes down at an average of 2.8% to the west, the canopy's vertical height increases to 14'11" at the northwest corner of the project, which is 2'11" above the maximum allowable height. Along 6th Street at the lowest grade, the canopy would have a vertical dimension of 17'10". The requested design departure is to exceed a portion of the canopy to extend above the 12' maximum design guideline. The architect outlines the justification as the departure of the canopy height would still meet the weather protection requirement for pedestrians, the canopy would maintain a consistent horizontal aesthetic that would allow for the storefront windows to remain a consistent size and allow for maximum interior daylight. Stepping down of the canopy to meet the guideline would adversely affect the aesthetic quality of the architecture. Maintaining a consistent horizontal plane with the canopy also defines the base of the building, which is an important aspect of the design guidelines. The canopy will have a metal frame finish, with a wood plank soffit. These canopies will also have recessed downlights to provide lighting under the opaque covering. The applicant maintains the design of the proposed canopy with the increased vertical dimension and overall aesthetic is a significant improvement over what could have otherwise been built under minimum standards and guidelines. The applicant provided references to applicable sections of the Comprehensive Plan, including Community & Identity: Goal CI 2 (Maintain a high quality of life for residents and businesses that make Coeur d'Alene a great place to live and visit), Objective CI 2.1 (Maintain the community's friendly, welcoming atmosphere and its small-town feel), and Objective CI 2.2 Support programs that preserve historical collections, key community features, cultural heritage, and

traditions), and the key characteristics of the Downtown as highly walkable with a defined urban form that attracts area residents and tourists to the area. The design departure request includes two exhibits showing how the canopy would look if it were to meet the guideline. (WEATHER PROTECTION) – DESIGN DEPARTURE REQUESTED

The proposed design is in compliance with the treatment of blank walls. The street-facing walls of the building are mostly broken up by windows and doors, but there are additional architectural features that break up the impact of the walls, including: a concrete plinth that varies in height depending on the grade change (from 1'-2" up to 6'-0"); a change in brick materials above the ground floor level, acting as a "belt course" for the building; recesses in the façade at least 2'-0" in depth; and roof overhangs/canopies at the ground floor level and upper roof level that vary from 3'-0" to 5'-0" in depth. Additional features at the pedestrian level include contrasting wall material and vegetated planter boxes (TREATMENT OF BLANK WALLS)

- The parking for the project is screened by being designed as part of the building. Other than the entrance, the parking is hidden from view. The main floor parking is integrated into the "plinth" on the no-street facing façades.(SCREENING OF PARKING STRUCTURES)
- The building design doesn't include any pitched roofs. The typical roofline of the building includes a 3' overhanging cornice to create a prominent edge against the sky. At recessed wall locations, this overhang extends 5'6" feet past the wall face, creating an even more dramatic cornice. Additionally, the building features accent tower elements of varying heights and a roof deck with a large trellis to add increased interest at the roof edge. (ROOF EDGE)
- The proposed building is designed with extended parapets to screen a majority of the rooftop equipment. The only rooftop mechanical equipment that extends above the main parapet is the Elevator Penthouse, which will be surrounded by a framed wall and finished in the same dark metal panels as part of the main building façade. (SCREENING OF ROOFTOP MECHANICAL EQUIPMENT)
- The DC design guidelines require new projects to relate to the context of the downtown's historical features. The existing site is a lawn-covered dog park, so the project doesn't include any renovation or redevelopment. As a new construction project, the proposed building relates to the surrounding context through: the use of brick as a predominant exterior finish; the massing of the building with a base, middle, and top; the scale of the building as a steppingstone between the smaller buildings along Sherman Avenue and the high-rise residential Parkside Building. The design of the building as a contemporary structure that relates to the primarily modern surrounding architecture. (UNIQUE HISTORIC FEATURES)
- The two main building signs are placed on the vertical-wood-siding-finished vertical towers of the building for wayfinding of automobile traffic, in lieu of pylon signs. These signs are 188 SF and 36 SF, respectively. Additionally, channel letter signs are located above the ground floor canopies to designate the main entrance and the parking entrances. These signs are 42 SF for the main entrance and 14 SF (each) for the two parking entrances. There are two placard signs on either side of the main entrance doors for pedestrian wayfinding. (INTEGRATION OF SIGNS WITH ARCHITECTURE)
- The signage for the building was selected from the Brand's standard signage options. Their designs are highly graphic for brand identity, but also offer a variety of installations and styles including typical wall signs, channel letter wall signs, freestanding channel letter entry signs, as well as smaller pedestrian-oriented placard signs at the entry doors. The freestanding

channel letter sign at the entry canopy is supported by brackets and directs pedestrians to the building entry. (CREATIVITY/INDIVIDUALITY OF SIGNS)

- The total building signage would total 302 square feet, which would be under the City's maximum sign allowance of 603 square feet under the Sign Code based on the property frontage. (SIGN ALLOWANCE)
- The DC zoning district requires that building floors over 45' in height above grade shall be stepped back 10' from the right-of-way on 6th Street. The project design does meet this requirement. The base of the building aligns with the property lines of the lot, but steps back above the ground floor level to allow for the required 10-foot setback over 45 feet above grade. The only parts of the building that extend past these setbacks are roof overhangs and balconies. (UPPER LEVEL STEPBACK)
- The following design guidelines and development standards are not applicable: Screening of Parking Lots, Parking Lot Landscaping, and Gateways.
- The Planning Department has provided a recommended condition of approval relating to consistency with the approved design, as noted below.
- The City Engineer has provided recommended conditions of approval for consideration by the DRC to ensure compliance with City Codes related to pedestrian safety, as noted below.

RECOMMENDED CONDITIONS OF APPROVAL

Planning:

1. The proposed design shall be substantially similar to those submitted with Item DR-1-24.

Engineering:

2. Sidewalks along Sherman Ave and 6th Street must be brought into ADA compliance.
3. Any existing driveway approaches not being used with the proposed development shall be removed.
4. The applicant shall complete a traffic study including a pedestrian safety study.
5. Pedestrian safety features recommended by the study and approved by the City shall be installed.

DESIGN REVIEW COMMISSION'S ROLE

The DRC may provide input on the proposed design and shall identify any changes to the proposed project which are needed in order for the project to comply with the required design standards and guidelines. The DRC must determine, based on the information before it, whether the proposed project meets the applicable Downtown Development Guidelines,. The DRC should identify the specific elements that meet or do not meet the guidelines in its Record of Decision.

DECISION POINT

The DRC should grant the application in Item DR-1-24, a request by Michael Nilson, The Richardson Design Partnership, on behalf of CDA Hotel LLC, a six (6) story hotel with below grade parking along Sherman Avenue, located at 602 & 612 E Sherman Avenue, Coeur d'Alene, Idaho, be approved with or without conditions, or determine that the project would benefit from an additional DRC Meeting to review project changes in response to the first DRC Meeting or if it is deemed necessary based on all the circumstances.

Attachments:

Application & Applicant's Narrative

This Page Intentionally Left Blank



APPLICANT'S APPLICATION

This Page Intentionally Left Blank



DESIGN REVIEW APPLICATION

STAFF USE ONLY
Date Submitted: 12-1-23 Received by: T. Stroud Fee paid: \$1006.00 Project # DR-1-24

REQUIRED SUBMITTALS

PAID

DEC 01 2023

Application Fee: \$ 700.00

Publication Fee: \$300.00

Mailing Fee: \$6.00 per public hearing

CITY OF COEUR D ALENE

A **COMPLETE APPLICATION** is required at time of application submittal, as determined and accepted by the Planning Department located at <http://cdaid.org/1105/departments/planning/application-forms>.

- Completed application form**
- Application, Publication, and Mailing Fees**
- A report(s) by an Idaho licensed Title Company:** Owner's list and three (3) sets of mailing labels with the owner's addresses prepared by a title company, using the last known name/address from the latest tax roll of the County records. This shall include the following:
 1. All property owners within 300ft of the external boundaries. ** Non-owners list no longer required**
 2. All property owners with the property boundaries.
- A report(s) by an Idaho licensed Title Company:** Title report(s) with correct ownership easements, and encumbrances prepared by a title insurance company and a copy of the tax map showing the 300ft mailing boundary around the subject property. The report(s) shall be a full Title Report and include the Listing Packet.
- A written narrative:** Description of proposal and/or property use.
- A legal description:** in MS Word compatible format, together with a meets and bounds map stamped by a licensed Surveyor.
- Infill Design Guideline Worksheet:** (Attached) Please fill out the appropriate Infill Worksheet for your project.

APPLICATION DOCUMENTS:

A. Purpose of Application Submittals: Purpose of Application Submittals: A development applicant shall participate in the design review process as required by this Article before substantive design decisions are fixed and difficult or expensive to alter. The City will work with the applicant in a collaborative fashion so that the goals of both the City and the applicant can be met to the greatest degree possible, and to address the concerns of neighbors and the community.

In order for this process to work effectively, the applicant must be willing to consider options for the project's basic form, orientation, massing, relationships to existing sites and structures, surrounding street and sidewalks, and appearance from a distance.

B. Materials to Be Submitted for Initial Meeting with Planning Staff: Not later than fifteen (15) days before the Initial Meeting with staff, the applicant must submit the supplemental and updated information required by this subsection to the Director. If all required items are not submitted two weeks prior to the scheduled meeting, the Director may postpone the Initial



THE
RICHARDSON
DESIGN
PARTNERSHIP
L.L.C.

TRANSMITTAL LETTER

To: Tami Stroud

From: Michael Nilson

Company: Coeur d'Alene Planning
Department

Date: 11/30/2023

Address:
City of Coeur d'Alene
710 E. Mullan Ave
Coeur d'Alene, ID 83814

Project:
AC Hotels Coeur d'Alene

Re: **Design Review Submittal**

Project No.:
23-138

We are sending the following:

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Original Drawings | <input type="checkbox"/> Shop Drawings | <input type="checkbox"/> Samples |
| <input type="checkbox"/> Reports | <input type="checkbox"/> Blue Print Drawings | <input type="checkbox"/> Other |
| <input type="checkbox"/> Change Order | <input type="checkbox"/> Specifications | <input type="checkbox"/> Shop submittals |

These are transmitted as checked below:

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> For approval | <input type="checkbox"/> Approved as noted | <input type="checkbox"/> Copies for approval |
| <input checked="" type="checkbox"/> For your use | <input type="checkbox"/> Return for corrections | <input type="checkbox"/> Copies for distribution |
| <input checked="" type="checkbox"/> As requested | <input type="checkbox"/> Submit | <input type="checkbox"/> Correction prints |
| <input type="checkbox"/> For review and comment | <input type="checkbox"/> Resubmit | <input type="checkbox"/> No Exceptions Noted |
| <input type="checkbox"/> Approved as submitted | <input type="checkbox"/> Return | |

Number of Copies

1

Description:

Design Review Submittal Package containing application, check payment, required documentation, and thumb drive with electronic copy of technical drawings, written narrative, and Powerpoint presentation

Remarks:

Signed: Michael Nilson

Title: Project Architect

- Our Messenger
- Mail
- Your Messenger
- Express

- Meeting to a later date. Prior to the Initial Meeting with Planning staff, all Floor Area Ratio (F.A.R.) development bonuses must be approved by the Community Planning Director, or his or her designee.
- After the Initial Meeting, the Director shall schedule the Second Meeting with the Commission for a date not less than thirty (30) days after the Initial Meeting. In the Director's discretion, any meeting may be scheduled at an earlier or later date if it is in the best interests of the Commission, the applicant, or staff.
1. A complete application (including the applicable fee); and
 2. A site map, showing property lines, rights of way, easements, topography, existing and proposed building footprints (if applicable), major landscaped areas, parking, access, sidewalks amenities and public areas; and
 3. A context map, showing building footprints and uses of parcels within three hundred feet (300'); and
 4. A written narrative including: A summary of the development plan including the areas for each use, number of floors, ~~etc.~~ total square footage and total acreage, and any information that will clarify the proposed project); and; a detailed description of how the project meets each applicable design guideline and design standards, including images/exhibits, and any design departures, and all revisions to the project made as a result of the initial meeting with staff. The narrative shall also include a description and photos detailing proximity to major roads, view corridors, and neighborhood context.
 5. General parking information including the number of stalls, dimensions of the parking stalls, access point(s), circulation plan, any covered parking areas, bicycle parking (included enclosed bike storage areas), and whether the parking will be surface or structured parking; and
 6. An ownership list prepared by a title insurance company, listing the owners of property within a three hundred foot (300') radius of the external boundaries of the subject property. The list shall include the last known name and address of such owners as shown on the latest adopted tax roll of the county; and
 7. Photographs of nearby buildings that are visible from the site, from different vantage points with a key map; and
 8. Views of the site, with a key map; and
 9. A generalized massing, bulk and orientation study of the proposal; and
 10. Elevations of the conceptual design for all sides of the proposal and an elevation along the block, showing massing of the proposal; and
 11. An exhibit showing existing and proposed grade; and
 12. Project inspiration images.



13. Sample of materials and colors, both physically and an electronic copy; and
14. A PowerPoint presentation that includes a detailed description of how the project meets each finding and any design departures, and addressing all of the items required in the narrative.

C. Materials to Be Submitted for First Meeting with Design Review Commission: Not later than the first working day of the month, the DRC Meeting, the applicant must submit the items required by this subsection to the Director. If all required items are not submitted in a timely manner, the Director may postpone the Meeting to a later date.

1. All items required for the first meeting with staff with any changes; and
2. A narrative demonstrating all revisions to the project made as a result of the meeting with staff, and referencing the project's compliance with the applicable design guidelines, including images/exhibits, and design departures.
3. A refined site plan with major landscaped areas, parking, access, circulation, sidewalks and public/private amenities; and
4. Refined elevations; and
5. Perspective sketches (but not finished renderings); and
6. A conceptual model is strongly suggested (this can be a computer model).

D. Materials To Be Submitted For The Optional Second Meeting With Design Review Commission: At the time of the First Meeting with the DRC, the Commission shall determine whether the review of the project would benefit from an additional DRC Meeting to review project changes in response to the first DRC Meeting or is necessary based on all the circumstances. If the Commission decides that a subsequent Meeting will be beneficial or necessary, the Director or his/her designee shall schedule such meeting in accordance is § 17.09.325(C). Not later than fifteen (15) days before the subsequent Meeting, the applicant must submit the items required by this subsection to the Director. If all required items are not submitted two weeks prior to the scheduled meeting, the Director may postpone the subsequent Meeting to a later date.

1. Refined site plan and elevations for all sides of the proposal; and
2. Large scale drawings of entry, street level facade, site amenities; and
3. Samples of materials and colors, electronic copy of materials and colors, and physical samples of the materials will need to be brought to the meeting; and
4. Finished perspective rendering(s) for all sides; and
5. Elevations; and

6. A narrative demonstrating all revisions to the project made as a result of the previous Meeting.

DEADLINE FOR SUBMITTALS:

A complete application and applicable fee for design review under this Article shall be made on a form prescribed by, and filed with, the Director. The completed application must be filed not later than the first working day of the month and the Initial Meeting with the Commission will be held on the fourth Thursday of ~~that~~ the following month, unless otherwise directed by the Commission or Director and duly noticed. The Director shall schedule the Initial Meeting before the Commission upon receipt of the completed application in accordance with this subsection.

All supplemental information to be added to the application file must be received by the Planning Department no later than five (5) working days prior to the meeting date for this item. 17.09.305 TITLE & PURPOSE.

PUBLIC HEARING NOTICE SIGN TO BE POSTED ON SUBJECT PROPERTY:

The applicant is required to post a public hearing notice, provided by the Planning Department, on the property at a location specified by the Planning Department. This posting must be done one (1) week prior to the date of the Planning Commission meeting at which this item will be heard. An affidavit testifying where and when the notice was posted, by whom, and a picture of the notice posed on the property is also required and must be returned to the Planning Department.

APPLICATION INFORMATION

PROPERTY OWNER: CDA Hotel LLC, a Montana Limited Liability Company		
MAILING ADDRESS: 1450 Twin Lakes Avenue, Suite 201		
CITY: Bozeman	STATE: MT	ZIP: 59718
PHONE: 406-595-4560	FAX:	EMAIL: plange@providencedevco.com
APPLICANT OR CONSULTANT: Michael Nilson, The Richardson Design Partnership		Architect STATUS: ENGINEER <u>OTHER</u>
MAILING ADDRESS: 510 South 600 East		
CITY: Salt Lake City	STATE: Utah	ZIP: 84102
PHONE: 801-349-6543	FAX: 801-355-6880	EMAIL: mnilson@trdp.com

FILING CAPACITY

- Recorded property owner as to of 9/7/2023
- Purchasing (under contract) as of _____
- The Lessee/Renter as of _____
- Authorized agent of any of the foregoing, duly authorized in writing. *(Written authorization must be attached)*

SITE INFORMATION:

PROPERTY LOCATION OR ADDRESS OF PROPERTY: 602 & 612 E Sherman Avenue
--

EXISTING ZONING (CHECK ALL THAT APPLY): R-1 <input type="checkbox"/> R-3 <input type="checkbox"/> R-5 <input type="checkbox"/> R-8 <input type="checkbox"/> R-12 <input type="checkbox"/> R-1 <input type="checkbox"/> MH-8 <input type="checkbox"/> NC <input type="checkbox"/> C-17 <input type="checkbox"/> C-17L <input type="checkbox"/> DC <input checked="" type="checkbox"/> LM <input type="checkbox"/> M <input type="checkbox"/> NW <input type="checkbox"/>		
TAX PARCEL # C-1800-035-001-A C-1800-035-003-A	TOTAL NUMBER OF LOTS: 2	ADJACENT ZONING: DC
GROSS AREA/ACRES: .482 acres	CURRENT LAND USE: Vacant Land	ADJACENT LAND USE: Bank/ office/ condominiums
DESCRIPTION OF PROJECT/REASON FOR REQUEST: Construction of 6 story hotel		

CERTIFICATION OF APPLICANT:

I, Michael Nilson, being duly sworn, attests that he/she is the applicant of this
 (Insert name of applicant)

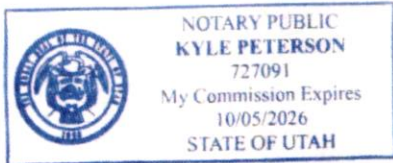
request and knows the contents thereof to be true to his/her knowledge.

Signed: *Michael Nilson*
 (applicant)

Notary to complete this section for applicant:

Subscribed and sworn to me before this 30 day of October, 2023.

Notary Public for Idaho Residing at: Salt Lake City



My commission expires: 10/05/2026

Signed: *[Signature]*
 (notary)

CERTIFICATION OF PROPERTY OWNER(S) OF RECORD:

I have read and consent to the filing of this application as the owner of record of the area being considered in this application.

Name: Parker Lange Telephone No.: 406-595-4560

Address: 1450 Twin Lakes Avenue, Suite 201 Bozeman MT 59718

Signed by Owner: *Parker Lange*

Notary to complete this section for all owners of record:

Subscribed and sworn to me before this 16 day of OCTOBER, 2023.

Notary Public for ~~Idaho~~ MONTANA Residing at: BELGRADE, MT

My commission expires: JULY 21, 27

Applicant's Narrative:

December 1, 2023

City of Coeur d'Alene
Planning Department
710 E. Mullan Ave
Coeur d'Alene, ID 83814

RE: Design Review Application Narrative
AC Hotels Marriott Coeur d'Alene
602-612 E. Sherman Ave.
Coeur d'Alene, Idaho 83814

Ladies and Gentlemen:

On behalf of Providence Development (Applicant, or "Providence"), we are submitting this written narrative as part of the Design Review application for the development of a new hotel on a vacant 0.482 acre parcel of land located at 602 E. and 612 E. Sherman Ave.

The Richardson Design Partnership, LLC. (TRDP) has coordinated and substantially prepared this Design Review Application package to demonstrate compliance with the City of Coeur d'Alene (City) design guidelines and standards. TRDP also designed the hotel.

Project Description:

Providence has extensive experience developing best-in-class real estate projects that support and improve the communities in which they operate. Providence calls it: *"Helping communities reach their full potential"*. The proposed project is an upscale select service hotel and bar with approximately 131 rooms that caters to both short-term guests as well as bar patrons. The goal is to attract visitors and locals alike.

The building is designed with neutral gray and warm wood tones to allow the beauty of the natural environment of this area to shine. The predominantly brick finish façades blend with the many brick buildings nearby. Lighting is provided to light sidewalks around the site, while also preserving the dark skies of the region. Metal canopies protect and large planted containers line the sidewalk along Sherman Avenue to further enliven the pedestrian experience. The corner of the building hosts the hotel bar, that includes an outdoor patio, which will bring activity to the pedestrian-friendly streets. The hotel also provides a rooftop bar and lounge that can accommodate large gatherings of both hotel guests and locals, that will have stunning views of the nearby lake and natural environment from its outdoor deck. There is also a fitness center and large amount of parking in the underground parking structure that will have limited visibility to neighbors.

The proposed hotel location at the corner of Sherman Avenue and 6th Street is an ideal spot for a hotel of this size and caliber. The mid-rise hotel will have views of both Coeur d'Alene Lake and Lake Fernan from its upper floors, as well as access to McEuen Park, Tubbs Hill, and the nearby beaches of Coeur d'Alene Lake for

recreational activities. The retail and restaurant options along Sherman Avenue will provide many amenities within walking distance (amounting to a walkable score of 85, or very walkable), but also quick access by car to the I-90 freeway down Sherman. There are also two bus stops around the corner on Lakeside Avenue. If hotel guests want more variety than provided by the hotel bar, some of the best restaurants in the City – including Fire Artisan Pizza and Crafted Tap House & Kitchen – are just steps away. Visitors will also appreciate having Coeur d’Alene Coffee, Vault Coffee, and Highlands Day Spa just down the street. This hotel is a perfect complement to the surrounding businesses, and it will support the needs of its neighbors.

Providence, in conjunction with The Richardson Design Partnership, looks forward to welcoming guests into a unique hotel that captures a contemporary look and feel, while adding to the pedestrian experience in the Downtown Core.

Project Overview of Proposed Development:

Site Area:	20,993 S.F.	0.482 Acres
Total Building Area:	155,429 S.F.	
Building Footprint:	20,886 S.F.	99.4% Site Coverage
Building Height:	6 Stories	
Parking:	130 Stalls	
Guestrooms:	131 Guestrooms	

We have organized this narrative to generally coincide with The City of Coeur d’Alene Downtown Core (DC) Commercial Design Guidelines.

Thank you in advance for your time and careful consideration of this application.



PUBLIC COMMENTS

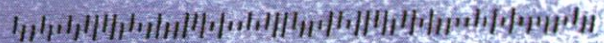


This Page Intentionally Left Blank

604 Sherman
CdA, ID 83814



Coeur d'Alene Planning Department
710 E. Mullan Avenue
Coeur d'Alene, ID
83814



Please cut here

Coeur d'Alene Planning Department
710 E. Mullan Avenue
Coeur d'Alene, Idaho 83814

Comments:

I do not support this project. We have plenty of housing/hotel options in CdA. We don't need more. We have enough traffic on Sherman. We don't need more. We have too few green spaces in the downtown grid. We need more of these. We do not need more lights downtown taking away from our starry nights. We do not need more noise downtown. We have already too much. We don't need anymore buildings that are more than 2-3 stories cluttering up our lake views. This takes away the charm of CdA. Pretty soon, we'll be so crowded that our tourism is going to suffer - too over crowded!

- &/or 2. Phone or visit our office (769-2240) with your concerns or questions
- &/or 3. Email your comments to: tclark@cdaid.org
- &/or 4. Come to the public hearing.

ITEM: DR-1-24

From: Ed Hatter
To: [CLARK, TRACI](#)
Subject: CDAHOTEL, LLC
Date: Monday, January 22, 2024 7:38:04 AM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

My wife and I live downtown and strongly feel this is not the proper location for a busy hotel because...

..Downtown along Sherman is already much too busy and loud.

.. Egress and ingress would create traffic pressure on Sherman, 6th, and 7th which is already way too congested.

.. increased noise which is already a major problem downtown and is a problem everyone has already been attempting to solve.

.. Impact of a hotel is totally different than condo living as it is totally transitory and occupied by short term occupants with no real regard for the community.

Sincerely,
Ed and Michael Hatter
701 E Front Ave
Apt 701
Coeur d Alene
208-755-8679

From: Ed Reinhart
To: [CLARK, TRACI](#)
Subject: Opposed to CDA Hotel, LLC / Public Hearing Feedback
Date: Tuesday, January 16, 2024 3:13:51 PM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Good Afternoon,

First, I want to thank the board for allowing the public and property owners to voice their opinion. It's shows a good faith effort to be transparent in the permit process.

We are property owners at Parkside Condos located at 601 East Front Avenue. Condo #703

The proposed 6 story Marriott Hotel will have a profound impact on both traffic and noise in the area. Many residence are year round and the increased noise will absolutely increase.

In addition, the nature of the hotel industry is high turnover. That means increased cars/trucks/delivery vehicles turning into 6th avenue. CDA promotes it's self to a be safe bike and walking city...this is exactly the opposite effect.

We are strongly opposed and urge the Board to decline the permit. This is not the type of project for that property.

Thank you,

Ed & Deb Reinhart

#703
601 E. Front Ave

From: John S. Nichols
To: [CLARK, TRACI](#)
Subject: Marriott Hotel Downtown CDA
Date: Monday, January 22, 2024 10:45:16 AM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hello,

I recently heard about the proposed Marriot Hotel for downtown CDA. I simply wanted to voice my support for this hotel. As someone that owns and develops properties in North Idaho, having a new hotel in downtown would be great for the local economy.

I look forward to hearing about this projects approval for our downtown area.

Sincerely,

John Stephen Nichols
Cornerstone Commercial Investments, Chief Operating Officer
(208) 916-0212
Coeur d'Alene, Idaho
<http://www.cornerstonecommercialinvestments.com>

From: strategic.scientific@verizon.net
To: [CLARK, TRACI](#)
Subject: Item DR-1-24
Date: Sunday, January 21, 2024 4:33:09 PM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

In response to the planned Marriot Hotel, I STRONGLY object to this development.

It will increase the traffic on Sherman and put further strain on the downtown infrastructure.

John Wieser
601 East Front Ave.
Coeur D'Alene, ID 83814

From: kaquilter1@gmail.com
To: [CLARK, TRACI](#)
Subject: Marriott Hotel
Date: Sunday, January 21, 2024 11:40:41 AM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

I am totally against the building of a Marriott hotel in downtown Coeur'Alene!! It would greatly change the character of the whole downtown area, with its charming shops and restaurants , which attract tourists and residents alike. I'm shocked that our mayor/ city leaders would entertain such a proposal! Coeur'Alene has a lovely, cozy small town feel, yet with lots to offer. Why destroy that so some developer can make a fortune??!! Outrageous!

Sent from my iPhone

From: kaquilter1@gmail.com
To: [CLARK, TRACI](#)
Subject: Marriott Hotel
Date: Sunday, January 21, 2024 11:17:39 AM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

I am totally against the building a Marriott Hotel in Coeur d'Alene!! It is way too large and imposing for our downtown area. It would greatly change the character of our charming city with its many shops and restaurants that attract tourists and residents alike. The CdA resort is set back from Sherman, and with its beautiful landscaping, doesn't see so obnoxious as the proposed Marriott would. I am shocked that our city mayor and others in city management would entertain such a disgusting idea.

Sent from my iPhone
Karen Anderson

From: Melita Clary
To: [CLARK, TRACI](#)
Subject: Marriot Hotel on 602 and 612 Sherman, Courd'Alene
Date: Saturday, January 20, 2024 7:32:07 PM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

To whom it may concern,

We have lost our hometown feeling, and although I live in Post Falls, I am very much a part of the community.

I understand free commerce and capitalism . If I invested money in land, I would want to do with it what I wanted to also. The difference is that I would not infringe on my neighbors, nor their ability to enjoy their adjoining land.

We already have five high-rise buildings downtown with another larger one coming on East Front Street that muddies the area. This completely ruins the historic beauty of our downtown . Marriot already has developed hotels in our area. Please forbid them to put a hotel in . I understand this is a grassy lot in front of one of the towers. If they were to go ahead with this, could it be a maximum of three floors(stories) and be regulated to have the esthetic (look like) our older buildings that line Sherman Avenue?

Thank you,

Melita Clary

Sent from my iPhone

From: Sara Klumpe
To: [CLARK, TRACI](#)
Subject: Proposed Marriott Hotel at 601-612 E. Sherman, Coeur d'Alene, ID
Date: Saturday, January 20, 2024 9:05:46 AM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

**PLEASE - can't we just have some green space downtown?
My input probably means nothing to "the powers that be" but
I am totally against adding (yet another) tall building
downtown.**

BTW, I don't live in the structure behind the proposed building, but I would imagine the people facing north are already bummed they have a so-so view of CDA, much less than backside of another hotel.

**NO - NO - NO - NO!! PLEASE RESERVE SOME SPACE FOR
HUMANITY, NOT SECOND HOME OWNERS!**

S. Klumpe
sklumpe@hotmail.com

"If we couldn't laugh we would all go insane." ~ Jimmy Buffett

From: Sarah (Nichols) Jarvis
To: [CLARK, TRACI](#)
Subject: Upcoming CDA Marriot Hotel
Date: Monday, January 22, 2024 12:03:30 PM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi there,

I recently saw the article discussing the proposed Marriot hotel in downtown CDA. As a local CDA resident, I wanted to voice my support for this proposed opportunity. Our local economy could greatly benefit from more options where people can stay, especially in downtown. The CDA resort, albeit a wonderful place to spend time and visit, has monopolized the downtown market and therefore controlled prices, making it difficult for more people to come visit and stay in the downtown area. Additionally, every summer the resort is fully booked.

Looking forward to the approval of this hotel.

Thank you!

--

Sarah Jarvis
208 – 661 – 8208

Of course, no one adjacent to this property wants their view restricted to the back of a building. I get property rights. But I also get our and our neighbors' investments in Parkside and feel it should be protected.

Some have paid over one million dollars, or close to it, to live in the downtown core. The height of the proposed building would severely impact those on the north side of Parkside. Thankfully, we are on the south side.

Going ahead with the proposed building would severely impact our property value in a negative way. Not temporarily, but permanently.

Marriott Hotel probably needs the building to be that high to recoup their expenses and make it pencil out as a good business investment – for them. A shorter building, with a maximum of 3 stories above ground, would not be as negatively impactful as the proposed building.

The easy response is “if you wanted control over what goes there, you should have bought it.” We are beyond that now, and want what is best for the 53 residential condos, not one investor.

Tina Johnson
601 E. Front #1103
whatagreatson@gmail.com

From: Tom Pehlke
To: [CLARK, TRACI](#)
Subject: new marriott
Date: Saturday, January 20, 2024 12:42:35 PM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

I can not attend the meeting about the proposed new Marriott but I have a concern. 130 parking spaces for a hotel with 131 rooms will not work. The project proposes a bar and restaurant as well. This project will destroy residential parking in the areas to the north of the proposed Hotel. Where do they think the customers and employees will park their cars?

Tom Pehlke

Design Build Group
208 651-2520

From: william canevari
To: [CLARK, TRACI](#)
Subject: Marriot Hotel on Sherman to be built
Date: Saturday, January 20, 2024 6:12:17 AM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

As a CDA resident I am against the construction of more huge buildings in the downtown Sherman corridor. The continued construction of mor eand more high rise buildings is turning the town into Bellevue.

I grew up in Bellevue, Washington in the 60s. It was a quaint little suburban town, with low rise buildings and a hometown feel. That changed in the 90s and 2000s, and now it so metro, that you can barely see the sky anymore.

I dont want that to happen to this town. I have lived here for 30 years, having moved here for the "hometown feel" of CDA. I see that has eroded somewhat. If there is a need for more Hotels and high rise condo/apartments in CDA, they should be built away from the downtown Sherman corridor. The east Sherman area needs rehabilitation more than downtown needs a new high rise hotel.

William Canevari
wcanevari@yahoo.com

This Page Intentionally Left Blank

**S
G
N
-
D
-
F**

This Page Intentionally Left Blank

**COEUR D'ALENE DESIGN REVIEW COMMISSION
FINDINGS AND ORDER**

DR-1-24

A. INTRODUCTION

This matter having come before the Design Review Commission on January 25, 2024 to consider DR-1-24, a request for a six (6) story hotel with below grade parking along Sherman Avenue and 6th Street in Downtown Coeur d'Alene.

APPLICANT: CDA HOTEL LLC

LOCATION: The subject property is legally described as CDA & Kings ADD, LTS 1,2, 3 and 4, BLK 35, Commonly known as 602 & 612 E Sherman Avenue.

A. FINDINGS OF FACT:

The Design Review Commission finds that the following facts, A1 through A46, have been established on a more probable than not basis, as shown on the record before it and on the testimony presented at the public hearing.

- A1. The subject property is located at 602 and 612 E. Sherman Avenue in the Downtown Core (DC) zoning district, which requires review and approval of the design by the City's Design Review Commission.
- A2. The property is subject to the Downtown Core Design Guidelines and the Downtown Development Standards. M.C. Chapter 17.05, Article XI, and § 17.05.705.
- A3. The applicant has submitted all required materials for design review as provided by M.C. § 17.09.325(D) and (E).
- A4. The applicant has completed a project review meeting on August 1, 2023 as required by M.C. § 17.09.325(B).
- A5. The applicant has completed an initial meeting with staff on October 21, 2023 as required by M.C. § 17.325(D).
- A6. The applicant is seeking design review from the Design Review Commission at an initial meeting on January 25, 2024.
- A7. The notice of public hearing was published on January 6, 2024, which fulfills the legal requirement for the zoning change request as provided by M.C. § 17.09.315(A).
- A8. The notice of public hearing was posted on the property on January 11, 2024, which fulfills the proper legal requirement as provided by M.C. § 17.09.315(A).
- A9. One hundred thirty-six (136) notices of public hearing were mailed to all property owners of

record within three hundred feet (300') of the subject property on January 10, 2024, which fulfills the legal requirement as provided by M.C. § 17.09.315(A).

- A10. Public testimony was received at a public hearing on January 25, 2024.
- A11. The subject property is 22,993 S.F. +/- 0.482 acre as shown by the application and verified by GIS.
- A12. The existing zoning is Downtown Core District as shown by the City's zoning map.
- A13. Sherman Avenue in the project vicinity is designated as a Vehicle-Oriented Street pursuant to the City's Downtown Design Guidelines.
- A14. 6th Street in the project vicinity is designated as a Pedestrian-Oriented Street pursuant to the City's Downtown Design Guidelines.
- A15. The project is below the allowable floor area ratio (FAR) as provided in M.C. § 17.05.685(A). The maximum allowed FAR in the DC zoning district is 4.0. The project shows a FAR of 0.994 based on a lot size of 20,993 square feet and a building square footage of 20,886 square feet. The applicant does not need and has not requested any FAR bonuses.
- A16. The proposed project would be 6 stories and 75' tall, which is below the maximum allowable height of 200' in the DC zoning district pursuant to M.C. § 17.05.690(A).
- A17. The 50' tower spacing requirements does not apply because the building would not be taller than 75' pursuant to M.C. § 17.05.695(B).
- A18. The DC zoning district requires 0.5 parking stalls per unit pursuant to M.C. § 17.05.725(A)(3). The proposed project has 131 hotel rooms and provides 130 parking spaces enclosed within the structure, which is 65 more than is required by City Code and the Downtown Development Regulations.
- A19. The proposed canopy meets the minimum depth to provide weather protection per the DC design guidelines. The DC design guidelines require a minimum depth of a canopy or awning to be 5'. The 5' deep canopies associated with the building meet the minimum requirement to provide pedestrians from weather. The exception is at the main entry, which has a shorter canopy at 3.5 feet in depth. However, a recessed entry provides additional protection. The applicant has requested a **design departure for Weather Protection related to the vertical dimension between the underside of the canopy or awning and the sidewalk**. Per the DC design guidelines, the vertical dimension between the underside of the canopy or awning and the sidewalk shall be at least 8' and no more than 12'. The proposed design has a canopy height starting at 9'11" above the sidewalk and has a clearance for pedestrian and vehicular safety signage suspended from the canopy above the parking garage entrance at a height of 9'11". As the sidewalk slopes down at an average of 2.8% to the west, the canopy's vertical height increases to 14'11" at the northwest corner of the project, which is 2'11" above the maximum allowable height. Along 6th Street at the lowest grade, the canopy would have a vertical dimension of 17'10". The requested design departure is to exceed a portion of the canopy to extend above the 12' maximum design guideline. The architect outlines the justification as the departure of the canopy height would still meet the weather protection requirement for pedestrians, the canopy would maintain a consistent horizontal aesthetic that would allow for the storefront windows to remain a consistent size and allow for maximum interior daylight. Stepping down of the canopy to meet the guideline would adversely affect the aesthetic quality of the architecture. Maintaining a consistent horizontal plane with the canopy also defines the base of the building, which is an important aspect of the design guidelines. The canopy will have a metal frame finish, with a wood plank soffit. These canopies will also have recessed

downlights to provide lighting under the opaque covering. The applicant maintains the design of the proposed canopy with the increased vertical dimension and overall aesthetic is a significant improvement over what could have otherwise been built under minimum standards and guidelines. The applicant provided references to applicable sections of the Comprehensive Plan, including **Community & Identity**: Goal CI 2 (*Maintain a high quality of life for residents and businesses that make Coeur d'Alene a great place to live and visit*), Objective CI 2.1 (*Maintain the community's friendly, welcoming atmosphere and its small-town feel*), and Objective CI 2.2 (*Support programs that preserve historical collections, key community features, cultural heritage, and traditions*), and the key characteristics of the Downtown as highly walkable with a defined urban form that attracts area residents and tourists to the area. The design departure request includes two exhibits showing how the canopy would look if it were to meet the guideline. (WEATHER PROTECTION) – **DESIGN DEPARTURE REQUESTED**

- A20. The following Downtown Design Guidelines and development standards are not applicable: Screening of Parking Lots, Parking Lot Landscaping, and Gateways. The 131 parking spaces for the project are fully enclosed within the building and therefore would not be considered a parking lot triggering screening or landscaping requirements. The location of the subject property is not in a Gateway. The Gateways are key intersections within and around the edges of downtown that require special treatment and include the intersections of Sherman Ave. and Second St., Sherman Ave. and Fourth St., Front Ave. and Fourth St., and Sherman Ave. and Seventh St.
- A21. The four existing street trees will be replaced with street trees per City standards and will include new 5'x5' tree planting areas around the trees.
- A22. The existing sidewalk on Sherman Avenue from the back of curb to the property line is 14.8'. The distance from the new 5'x5' tree planting areas to the property line is approximately 8'-6". A 7'-0" wide clear pedestrian travel area will be maintained. (SIDEWALK USES – CLEAR WALKWAY)
- A23. An 18" wide area between the property line and the pedestrian travel area will be used for planting containers along Sherman Avenue. (SIDEWALK USES – STOREFRONT AREA)
- A24. Three (3) existing curb cuts will be removed – one along 6th Street and two along Sherman Avenue. Only one new 24" wide curb cut will be required on Sherman Avenue for the project. No curb cuts will be on 6th Street, which is a pedestrian-oriented street. For the new curb cut required for the driveway into the parking structure, the sidewalk pattern and material will carry across the driveway. (WIDTH AND SPACING OF CURB CUTS)
- A25. The trash area will be located behind the building off of the alley on the southeast corner of the property and will be screened from view on all sides. The enclosure will be constructed with brick to match the building and will have an opaque decorative architectural gate. (SCREENING OF TRASH)
- A26. Loading and service areas will be located within the parking structure. (SCREENING OF SERVICE AREAS)
- A27. Exterior lighting on the building will be recessed in the roof canopies at the ground floor level to provide pedestrian lighting. Guestroom balcony roofs will have lighting and the upper roof deck will have lighting to highlight the building corner. Fully shielded wall scones will be provided on either side of the main entry doors. (LIGHTING INTENSITY – BUILDING LIGHTING)
- A28. There is one existing single-arm tall streetlight at the corner of Sherman and 6th Street that will remain. There are two existing post streetlights along Sherman Avenue. One light will remain in its current location, and the other will be shifted to allow for the new curb cut into the parking structure. There are no existing streetlights along 6th Street. (LIGHTING INTENSITY – STREET LIGHTING)

- A29. The DC zoning district has a 0' front and side yard setback, unless providing usable public space, forecourts or vegetative screening of parking structures. Buildings may be set back from the sidewalk a maximum of 20' for public space or entries, or a maximum of 10' for vegetative screening. Setting façades close to the street may be accomplished through base structures that extend out to the sidewalk, not necessarily the full height of the building. The building meets this requirement. The street level façade along the Pedestrian-Oriented 6th Street is set up to the back of the sidewalk along the property line. A portion of the project on the corner of Sherman and 6th Street has a dining patio for the use of hotel guests but it has a base structure that extends out to the sidewalk. (MAXIMUM SETBACK)
- A30. The proposed building is oriented to Sherman Avenue. The building façade along Sherman incorporates numerous windows as well as an entrance canopy and signage. The façade along 6th Street incorporates windows. The primary building entrance faces Sherman and is centered in the building façade. An outdoor patio at the ground level activates the street corner at Sherman Avenue and 6th Street. (ORIENTATION TO THE STREET)
- A31. The DC design guidelines require the principal entry to have two elements. The main building entrance is centered on the façade along Sherman Avenue and welcomes pedestrians with an overhanging canopy as well as a recess in the main building wall. Those are both allowed design elements. Some form of weather protection shall also be provided. Both the canopy and the recess provide added weather protection for pedestrians. These features, along with clear signage, help identify this visually prominent entrance. (ENTRANCES)
- A32. The proposed structure incorporates a top, middle and base, as required by the DC zoning district (MASSING)
- The top section of the building is distinguished by overhanging roofs, an open roof deck with trellis, and additional windows. The main material is a dark metal panel, with accent metal panels. (TOP)
 - The middle section of the building has a regular pattern of guestroom windows surrounded by dark and light color brick veneer. Also, there are some dark and accent metal panels to connect the base to the top. (MIDDLE)
 - The base of the building features a large amount of storefront glazing and canopies to define the ground level. The finish is a combination of light grey brick, darker composite panels accented with horizontal wood siding with a decorative concrete plinth. (BASE)
 - The base of the building aligns with the property lines of the lot, but steps back above the ground floor level to allow for the required 10-foot setback over 45 feet above grade. The only parts of the building that extend past these setbacks are roof overhangs and balconies. The only part of the building that is taller than 75 feet is the elevator penthouse, which is much smaller than the 8000 SF Tower Floor Size restriction at 176 SF and is over the minimum Tower Separation of 50 feet noted in the Site Performance Standards. At approximately 77 feet tall, the overall building height is well below the maximum 200 ft building height. (BUILDING BULK)
 - Sherman Avenue has a mix of low-and mid-rise buildings, which align well with the scale of the plinth of the proposed hotel. The overall mass of the building helps transition from these shorter structures to the high-rise residential buildings on Front Avenue. (CITY BLOCK ELEVATIONS)
- A33. The ground floor of the building has the most amount of character to provide visual interest to pedestrians, including: Pedestrian-scaled signs to identify the building entry; seasonal planting in multiple planters against the building along Sherman Avenue; metal canopies above the ground floor storefront windows; accent wall sconces on either side of the main entrance; and a decorative concrete plinth to

ground the building. The ground level also features an elevated patio at the corner of Sherman and 6th Street to add a further level of detail in this area. (GROUND LEVEL DETAILS)

- A34. The proposed structure would meet the minimum glazing requirement for Ground Floor Windows by providing 40% window and glazed door area in the “window zone” of the façade along Sherman Avenue and 26% “window area” in the window zone along the 6th Street façade (GROUND FLOOR WINDOWS)
- A35. The DC design guidelines require a visual connection between activities inside and outside the building. Ground level façades oriented to pedestrian-oriented streets require a minimum of 60% transparency and vehicular-oriented streets require a minimum of 40% transparency. The proposed structure would meet the transparency requirement for ground floor windows with a minimum of 60% transparency. (GROUND FLOOR WINDOWS)
- A36. The proposed design is in compliance with the treatment of blank walls. The street-facing walls of the building are mostly broken up by windows and doors, but there are additional architectural features that break up the impact of the walls, including: a concrete plinth that varies in height depending on the grade change (from 1'-2" up to 6'-0"); a change in brick materials above the ground floor level, acting as a “belt course” for the building; recesses in the façade at least 2'-0" in depth; and roof overhangs/canopies at the ground floor level and upper roof level that vary from 3'-0" to 5'-0" in depth. Additional features at the pedestrian level include contrasting wall material and vegetated planter boxes (TREATMENT OF BLANK WALLS)
- A37. The parking for the project is screened by being designed as part of the building. Other than the entrance, the parking is hidden from view. The main floor parking is integrated into the “plinth” on the no-street facing façades.(SCREENING OF PARKING STRUCTURES)
- A38. The building design doesn't include any pitched roofs. The typical roofline of the building includes a 3' overhanging cornice to create a prominent edge against the sky. At recessed wall locations, this overhang extends 5'6" feet past the wall face, creating an even more dramatic cornice. Additionally, the building features accent tower elements of varying heights and a roof deck with a large trellis to add increased interest at the roof edge. (ROOF EDGE)
- A39. The proposed building is designed with extended parapets to screen a majority of the rooftop equipment. The only rooftop mechanical equipment that extends above the main parapet is the Elevator Penthouse, which will be surrounded by a framed wall and finished in the same dark metal panels as part of the main building façade. (SCREENING OF ROOFTOP MECHANICAL EQUIPMENT)
- A40. The DC design guidelines require new projects to relate to the context of the downtown's historical features. The existing site is a lawn-covered dog park, so the project doesn't include any renovation or redevelopment. As a new construction project, the proposed building relates to the surrounding context through: the use of brick as a predominant exterior finish; the massing of the building with a base, middle, and top; the scale of the building as a steppingstone between the smaller buildings along Sherman Avenue and the high-rise residential Parkside Building. The design of the building as a contemporary structure that relates to the primarily modern surrounding architecture. (UNIQUE HISTORIC FEATURES)
- A41. The two main building signs are placed on the vertical-wood-siding-finished vertical towers of the building for wayfinding of automobile traffic, in lieu of pylon signs. These signs are 188 SF and 36 SF, respectively. Additionally, channel letter signs are located above the ground floor canopies to designate the main entrance and the parking entrances. These signs are 42 SF for the main entrance and 14 SF (each) for the two parking entrances. There are two placard signs on either side of the main

entrance doors for pedestrian wayfinding. (INTEGRATION OF SIGNS WITH ARCHITECTURE)

- A42. The signage for the building was selected from the Brand's standard signage options. Their designs are highly graphic for brand identity, but also offer a variety of installations and styles including typical wall signs, channel letter wall signs, freestanding channel letter entry signs, as well as smaller pedestrian-oriented placard signs at the entry doors. The freestanding channel letter sign at the entry canopy is supported by brackets and directs pedestrians to the building entry. (CREATIVITY/INDIVIDUALITY OF SIGNS)
- A43. The total building signage would total 302 square feet, which would be under the City's maximum sign allowance of 603 square feet under the Sign Code based on the property frontage. (SIGN ALLOWANCE)
- A44. The DC zoning district requires that building floors over 45' in height above grade shall be stepped back 10' from the right-of-way on 6th Street. The project design does meet this requirement. The base of the building aligns with the property lines of the lot, but steps back above the ground floor level to allow for the required 10-foot setback over 45 feet above grade. The only parts of the building that extend past these setbacks are roof overhangs and balconies. (UPPER LEVEL STEPBACK)
- A45. The Planning Department has provided a recommended condition of approval relating to consistency with the approved design, as noted below.
- A46. The City Engineer has provided recommended conditions of approval for consideration by the DRC to ensure compliance with City Codes related to pedestrian safety, as noted below.

(The commission may add other facts here)

B. CONCLUSIONS OF LAW

Based on the foregoing Findings of Fact, the Design Review Commission makes the following Conclusions of Law.

1. This proposal (is) (is not) in conformance with the following applicable Downtown Development Standards and other applicable Municipal Code requirements:
 - Floor Area Ratio (FAR)
 - Height
 - Upper Level Stepback
 - Required Parking Ratio
 - Street Trees
 - Sign Allowance
 - Curb Cuts
2. The requested Design Departure for Weather Protection (has) (has not) satisfied the criteria for approving a design departure.
 - The requested departure (does) (does not) meet the intent statements relating to applicable development standards and design guidelines.
 - The departure (will) (will not) have a detrimental effect on nearby properties or the city as a whole.

- The project's building(s) (does) (does not) exhibit a high degree of craftsmanship, building detail, architectural design, or quality of materials that are not typically found in standard construction. In order to meet this standard, an applicant must demonstrate to the planning director that the project's design offers a significant improvement over what otherwise could have been built under minimum standards and guidelines.
 - The proposed departure (is) (is not) part of an overall, thoughtful and comprehensive approach to the design of the project as a whole.
 - The project (is) (is not) consistent with the comprehensive plan and any applicable plan.
3. This proposal (is) (is not) in conformance with the Downtown Design Guidelines with regard to the following design standards and guidelines (with) (without) conditions:
- Location of Parking
 - Sidewalk Uses (Amenity Zones, Clear Walkways, and Storefront Area)
 - Width and Spacing of Curb Cuts
 - Screening of Trash/Service Areas
 - Lighting Intensity
 - Maximum Setback
 - Orientation to the Street
 - Entrances
 - Massing
 - Ground Level Details
 - Ground Floor Windows
 - Weather Protection (**NOTE: Design Departure requested**)
 - Treatment of Blank Walls
 - Screening of Parking Structures
 - Roof Edge
 - Screening of Rooftop Mechanical Equipment
 - Unique Historic Features
 - Integration of Signs with Architecture
 - Creativity/Individuality of Signs

C. DECISION

The Design Review Commission, pursuant to the foregoing Findings of Fact and Conclusions of Law, has determined that the request for a six (6) story hotel with below story hotel with below grade parking along Sherman Avenue, located at 602 & 612 E Sherman Avenue, Coeur d'Alene, Idaho [should be approved today (with the following conditions) (without conditions)] or ['finds that the project design requires modifications to address the following design criteria and directs staff to schedule a second meeting with the Design Review Commission].

The DRC should identify the specific elements that meet or do not meet the guidelines in its Record of Decision.

Conditions:

1. The proposed design shall be substantially similar to those submitted with Item DR-1-24.
2. Sidewalks along Sherman Ave and 6th Street must be brought into ADA compliance.
3. Any existing driveway approaches not being used with the proposed development shall be removed.
4. The applicant shall complete a traffic study including a pedestrian safety study.
5. Pedestrian safety features recommended by the study and approved by the City shall be installed.

(The commission may add other conditions here)

Motion by _____, seconded by _____, to adopt the foregoing Findings and Order.

ROLL CALL:

Commissioner Priest	Voted
Commissioner Ingalls	Voted
Commissioner Snodgrass	Voted
Commissioner Pereira	Voted
Commissioner Lemmon	Voted
Chairman Messina	Voted

Motion to approve carried by a _____ to _____ vote.

CHAIRMAN TOM MESSINA